

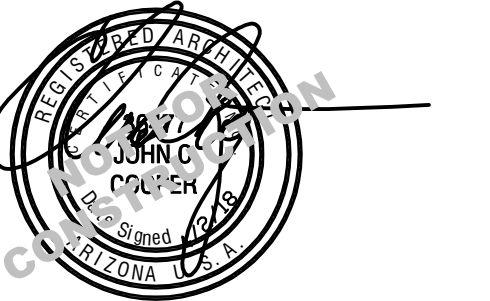
MESA SHELL BUILDING



1255 WEST RIO SALADO PARKWAY
SUITE 207
TEMPE, AZ 85281
PHONE 480.268.2900
FAX 480.268.2905
WWW.ARIZADO.NET

1257 SOUTH CRISMON ROAD
MESA, ARIZONA 85208
4.2.2018

PROJECT MANAGER: MR. CHRIS COOPER A.I.A.



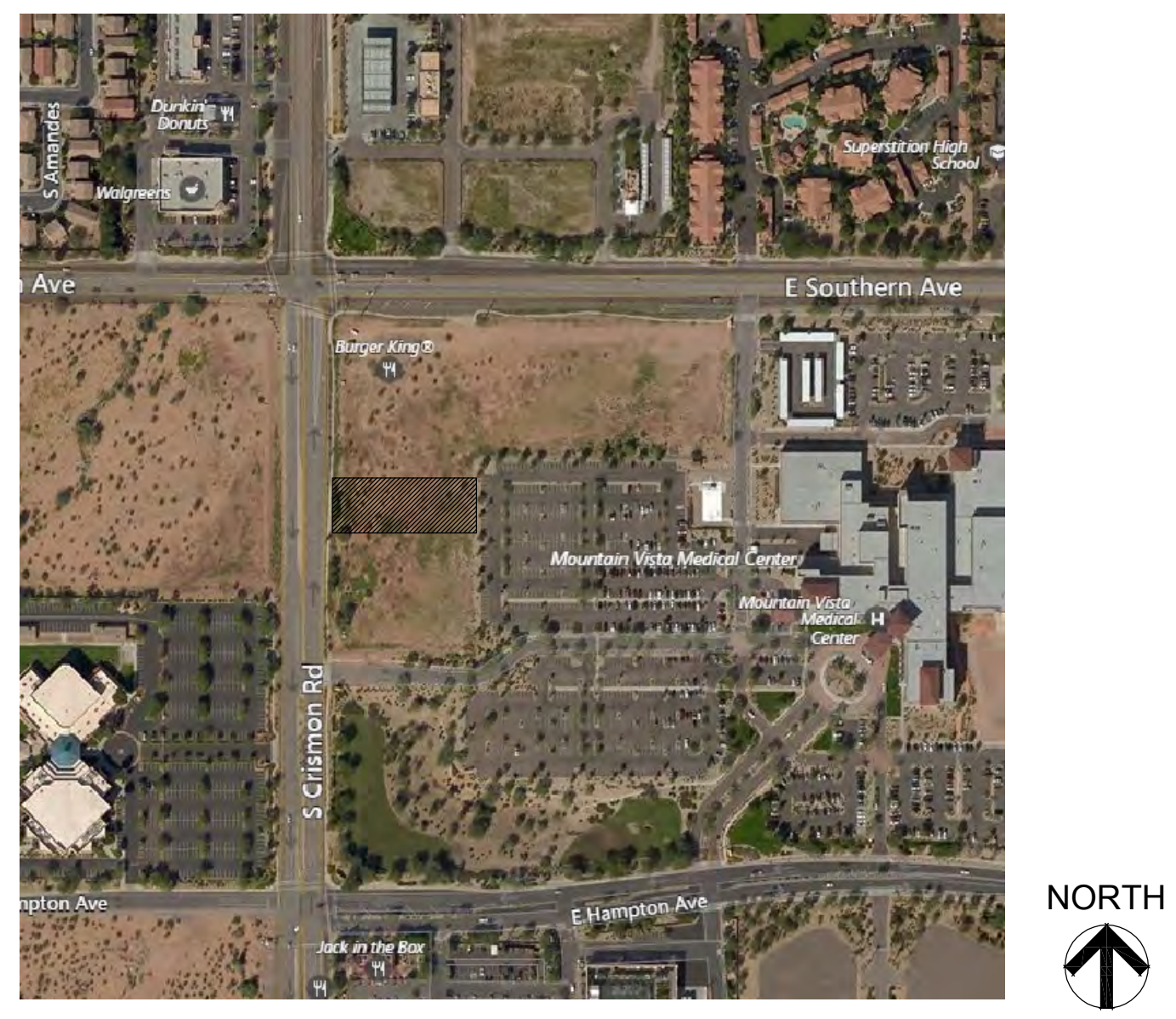
EXP. DATE: 09/30/2019

PROJECT TEAM

OWNER:	ARCHITECT:	CONTRACTOR:	CIVIL:	STRUCTURAL:	LANDSCAPE:	MECH./ELEC./PLUMB.
BRANDT BACUS	a.d. Arizado	TBD	DERICK SCHUMACHER	CARUSO TURLEY SCOTT	PINNACLE DESIGN, INC	a.d. Arizado
1404 SOUTH LONGMORE ROAD MESA, ARIZONA 85202	1255 WEST RIO SALADO PARKWAY SUITE 207 TEMPE, ARIZONA 85281	NAME ADDRESS ADDRESS CITY, STATE AND ZIP CODE	4450 NORTH 12TH STREET SUITE 228 PHOENIX, ARIZONA 85014	1215 WEST RIO SALADO PARKWAY SUITE 200 TEMPE, ARIZONA 85281	1048 NORTH 44TH STREET SUITE 200 PHOENIX, ARIZONA 85008	1255 WEST RIO SALADO PARKWAY SUITE 207 TEMPE, ARIZONA 85281
PHONE 480.696.4274 FAX E-MAIL brandt@bacusfoodscorp.com CONTACT MR. BRANDT BACUS	PHONE 480.268.2900 FAX 480.268.2905 E-MAIL cooper@arizado.net CONTACT MR. BRANDT BACUS	PHONE PHONE PHONE	PHONE 623.282.2498 FAX E-MAIL dschumacher@cypresscivil.com CONTACT MR. DERICK SCHUMACHER	PHONE 480.774.1700 FAX 480.774.1701 E-MAIL rdahlmann@ctsaz.com CONTACT MR. RICHARD DAHLMANN	PHONE 602.952.8585 EXT. 206 FAX 602.952.8686 E-MAIL elorden@pdi-az.com CONTACT MR. ED LORDEEN	PHONE 480.268.2900 FAX 480.268.2905 E-MAIL cooper@arizado.net CONTACT MR. CHRIS COOPER

ABBREVIATIONS: VICINITY MAP: PROJECT INFORMATION: SHEET INDEX:

AC. ACOUSTIC	ADD. ADDENDUM	ADN. ADDITION	AGG. AGGREGATE	ALT. ALTERNATE	ALUM. ALUMINUM	AMP. AMPERE	ARCH. ARCHITECT	ASPH. ASPHALT	AVG. AVERAGE	BD. BOARD	BLDG. BUILDING	BLOC. BLOCKING	BM. BEAM	B.M. BENCHMARK	B.O. BOTTOM OF	BOT. BOTTOM	CBRT. CABINET	C.B. CATCH BASIN	CEM. CEMENT	CEM. CEMENT	C.F. CUBIC FEET	C.F.M. CUBIC FEET PER MINUTE	C.I.P. CAST IN PLACE	CC. CONCRETE	CHAN. CHANNEL	C.J. CONTROL JOINT	C.J. CONTROL JOINT	C.L. CENTER LINE	C.O. CEILING	CLR. CLEAR	CM. CONCRETE	C.M.U. CONCRETE MASONRY UNIT	C.O. CLEAN OUT	COL. COLUMN	CONC. CONCRETE	CONN. CONNECTION	CONSTR. CONSTRUCTION	CONT. CONTINUOUS	CONTR. CONTRACTOR	CORR. CORRUGATED	C.T. CERAMIC TILE	CR. COUNTER	CTSK. COUNTERSINK	C.V. CHECK VALVE	C.W. COLD WATER	C.W.P. COLD WATER PIPE	Ø DIAMETER	DBL. DOUBLE	D.C. DIRECT CURRENT	DESG. DESIRE	DET. DETAIL	DIAG. DIAGONAL	DM. DIMENSION	DISP. DISPENSER	DL. DEADLOAD	DN. DOWN	D.P. DAMP PROOFING	D.S. DOWNSPOUT	DWG. DRAWING	DWL. DOWEL	E.C. ELECTRICAL CONTRACTOR	E.F. ELECTRICAL FINISHING	F. FOUNTAIN	E.F. EXHAUST FAN	E.I.F.S. EXTERIOR INSULATING FINISHING SYSTEM	E.J. EXPANSION JOINT	EL. ELEVATION	EMP. EMPLOYEE	ENG. ENGINEER	EQ. EQUAL	EQUIP. EQUIPMENT	EXH. EXHAUST	EXST. EXISTING	EXP. EXPANSION	EXT. EXTERIOR	F.A. FIRE ALARM	F.A.C.P. FIRE ALARM CONTROL PANEL	F.C. FLOOR CLEANOUT	FL. FLOOR	FIN. FINISH	FL. FLASHING	FLOK. FLOOR	F.D. FIRE DAMPER	F.F. FLOOR FINISHING	FLUOR. FLUORESCENT	FOOTING FOOTING	FND. FOUNDATION	FR. FRAME	F.R.P. FIBERGLASS REINFORCED PLASTIC	F.X.C. FIRE HOSE CAB.	G. GROUND	GA. GAUGE	GEN. GENERAL CONTRACTOR	GR. GRADE	G.I. GALVANIZED IRON	GL. GLASS	GRLL. GRILLE	GYP. GYPSUM	H.B. HOSE BRB	H.D.A.S. HEADED ANCHOR STUDS	HDL. HARDWARE	HDL. HARDWARE	HDL. HARDWARE	H.M. HOLLOW METAL	HORIZ. HORIZONTAL	H.P. HIGH POINT	H.R. HAND RAIL	HTR. HEATER	HT. HEAT	H.V.A.C. HEATING, VENTILATING, AND AIR CONDITIONING	H.W. HOT WATER	I.D. INSIDE DIAMETER	IN. INCH	INSUL. INSULATION	INT. INTERIOR	INV. INVERT	JAN. JANITOR	J-BOX JUNCTION BOX	JOINT JOINT	JUST JUST	K. KIPS (1000 lbs)	K.P. KICK PLATE	KV. KICK	KVA KILOVOLT-AMPS	KWH KILOWATT-HOUR	KWH KILOWATT-HOUR	LAM. LAMINATED	LAV. LAVATORY	LB. POUNDS	LDG. LANDING	L.F. LINEAR FEET	LEG. LENGTH	LIVE. LIVE LOAD	L.L. LONG LEG	L.L.H. LONG LEG HORIZONTAL	L.L.V. LONG LEG VERTICAL	LOC. LOCATION	LONG. LONGITUDINAL	LTH. LATH	LVR. LOUVER	L.W.C. LIGHT WEIGHT CONCRETE	M. METER	MATL. MATERIAL	MAX. MAXIMUM	MCJ MASONRY CONTROL JOINT	MECH. MECHANICAL	MET. METAL	MFR. MANUFACTURER	M.H. MAN HOLE	M.H. METAL HOLE	MIN. MINIMUM	M.L. METAL LATH	M.D.G. MOLDING	M.O. MASONRY OPENING	M.S. MOISTURE RESISTANT	M.S.W. MAIN SWITCHBOARD	MUL. MULLION	N/A. NOT APPLICABLE	N.C. NATIONAL GRADE	N.I.C. NOT IN CONTRACT	N.L. NIGHT LIGHT	NOM. NOMINAL	N.T.S. NOT TO SCALE	NUM. NUMBER	O.A. OVERALL	OSB. OBSERVE	O.C. ON CENTER	O.D. OUTSIDE DIAMETER	O.F.S. OVERFLOW SCOPPER	O.F.D. OVERFLOW DRAIN	OSHA OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION	OPG. OPENING	PENNY PENNY	PENNY PERPENDICULAR	PHASE PHASE	PRECAST PRECAST	PAGE PAGE	PIV. POST INDICATOR VALVE	PL. PLATE	PL. PLATE	PLY. PLYWOOD	PLY. PLYWOOD	PNL. PANEL	PAR. PAR	P.S.I. POUNDS PER SQ. INCH	P.S.T. POUNDS PER SQ. FOOT	PTD. PAINTED	PARTITION PARTITION	PT. POINT	P.V.C. POLY VINYL CHLORIDE	QTY. QUANTITY	R. RADIUS	R.A. RETURN AIR	R.C.P. REFLECTED CEILING PLAN	RD. ROUND	R.D. ROOF DRAIN	REG. REGISTER	REINFORCED REINFORCING	REQD. REQUIRED	REV. REVISION	ROOF ROOFING	RGH. ROUGH	RM. ROOM	R.T.U. ROOF TOP UNIT	S.C. SITE CONTRACTOR	STUCCO STUCCO CONTROL JOINT	SCR. SCORE	SECT. SECTION	SEL. SELECT	SQ. SQUARE FEET	SHT. SHEET	SDG. SANDING	SM. SWIRLS	SLDG. SLIDING	SM. SMOOTH	S.O.V. SHUT OFF VALVE	SPEC. SPECIFICATION	SPL. SPLASH	SQ. SQUARE	S.S. STAINLESS STEEL	S.T.D. STANDARD	S.T.C. SOUND TRANSMISSION CLASS	STL. STEEL	STRUC. STRUCTURE	SUSP. SUSPENDED	SWBD. SWITCHBOARD	SYM. SYMMETRICAL	T.C. TOP OF CURB	T.G. TEMPERED GLASS	T.H. THROUGH	T.O. TOP OF	T.S.D. TOP OF STEEL DECK	TSTAT. THERMOSTAT	TYP. TYPICAL	U.L. UNDERWRITERS LABORATORIES	UN.O. UNLESS NOTED OTHERWISE	UN.P.S. UNINTERRUPTIBLE POWER SUPPLY	V. VENT	V.A. VOLT-AMPERE	VERT. VERTICAL	V.G. VERTICAL GRAB	VEST. VESTIBULE	V.M.C. VENTILATION MECHANICAL	V.P. VITREOUS CLAY PIPE	V.T.R. VENT THROUGH ROOF	W.B. WATER BASE	W.C. WATER CLOSET	W.C.D. WALL CLEANOUT	WD. WOOD	WDR. WINDOW	W.F. WIRE FLANGE	WH. WATER HEATER	WY. WITH	W/O. WITHOUT	WTR. TRANSFORMER	W.O. WALL OPENING	W.P. WEATHER PROOF	W.W. WINDOW WALL	W.W.F. WELDED WIRE FABRIC	W.W.M. WELDED WIRE MESH	W.L. WIND LOAD
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SYMBOL LEGEND:

XXXXXX	ROOM NAME (TOP) AND ROOM NUMBER (BOTTOM)	(X)	DOOR TYPE
XX/XX	INTERIOR / EXTERIOR ELEVATION - ELEVATION No. (TOP), SHEET No. (BOTTOM)	(X/XX)	EXTERIOR MATERIAL (TOP) AND EXTERIOR FINISH (BOTTOM)
XX/XX	DETAIL REFERENCE - DETAIL No. (TOP), SHEET No. (BOTTOM)	(X)	INTERIOR FINISHES & DECOR
XX/XX	BUILDING SECTION - SECTION No. (TOP), SHEET No. (BOTTOM)	(X)	FLOOR FINISHES
XX/XX	WALL SECTION - SECTION No. (TOP), SHEET No. (BOTTOM)	(X)	CEILING FINISHES
(X X)	BUILDING COLUMN GRID LINE	(X)	WINDOW TYPE
(XX)	KEYED NOTE - SEE KEYED NOTES		
(XX)	EQUIPMENT REFERENCE - SEE EQUIPMENT COORDINATION SCHEDULE		
(XX)	WALL TYPE & DECOR		

PROJECT INFORMATION:

PROJECT ADDRESS: 1257 SOUTH CRISMON ROAD, MESA, ARIZONA 85208

PROJECT DESCRIPTION: SITE, RETAIL SHELL PAD

OCCUPANCY: M

OCCUPANT LOAD: 180

SUITE 101: RETAIL 1492 / 30 = 49.73 : 50
 SUITE 102: RETAIL 1974 / 30 = 65.8 : 66
 SUITE 103: RETAIL 1929 / 30 = 64.3 : 64

TOTAL OCCUPANTS: 180 OCCUPANTS
(FINAL OCCUPANT LOAD TO BE DETERMINED DURING TENANT BUILD OUT)

AREA CALCULATIONS

SUITE 101: 1,492 SQ. FT.
 SUITE 102: 1,974 SQ. FT.
 SUITE 103: 1,983 SQ. FT.
TOTAL (USABLE AREA): 5,449 SQ. FT.

EXITS

SUITE 101: (2) EXIT(S) REQUIRED (2) EXIT(S) PROVIDED
 SUITE 102: (2) EXIT(S) REQUIRED (2) EXIT(S) PROVIDED
 SUITE 103: (2) EXIT(S) REQUIRED (2) EXIT(S) PROVIDED

CONSTRUCTION TYPE

TYPE V-B
FULLY-SPRINKLERED

APPLICABLE CODES

2006 INTERNATIONAL BUILDING CODE
 2006 INTERNATIONAL PLUMBING CODE
 2006 INTERNATIONAL MECHANICAL CODE
 2006 INTERNATIONAL FUEL GAS CODE
 2005 NATIONAL ELECTRICAL CODE
 2009 INTERNATIONAL ENERGY CONSERVATION CODE

PROJECT DIRECTORY:

55 NORTH CENTER STREET
MESA, ARIZONA 85201

PHONE 480.644.4273
FAX

SHEET INDEX:

GENERAL	T-1	TITLE SHEET
CIVIL	C-1	COVER SHEET
	C-2	GRADING AND DRAINAGE PLAN
	C-3	ONSITE UTILITY PLAN
LANDSCAPE	PL-1	COVER SHEET
ARCHITECTURAL	SP-1	SPECIFICATIONS
	SP-2	SITE PLAN
	SP-3	SITE PLAN DETAILS
	A-5	EXTERIOR ELEVATIONS

THESE PLANS ARE INSTRUMENTS OF PROFESSIONAL SERVICE AND ARE PROTECTED BY COPYRIGHT LAW. RIGHTS INCLUDING COPYRIGHT, ARE RESERVED. NO PART OF THESE PLANS MAY BE REPRODUCED OR USED FOR ANY PURPOSE WITHOUT THE WRITTEN CONSENT OF A.D. ARIZADO.

DELTA DATE

SHELL BUILDING
SOUTHERN & SOUTH CRISMON
1257 SOUTH CRISMON ROAD
MESA, ARIZONA 85208

SHEET TITLE

TITLE SHEET

JOB NO. **A17392**

DATE 4/2/18

SCALE AS NOTED

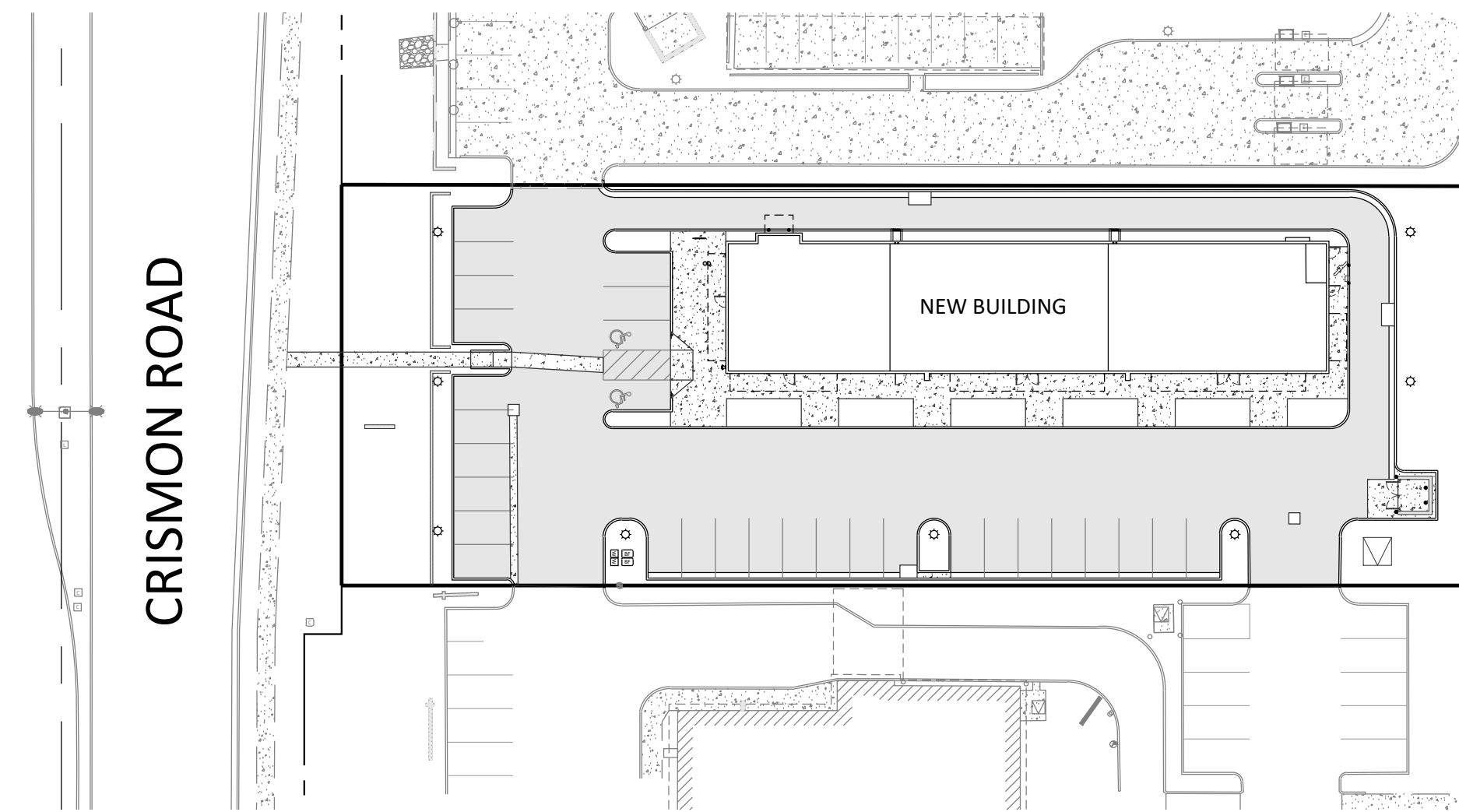
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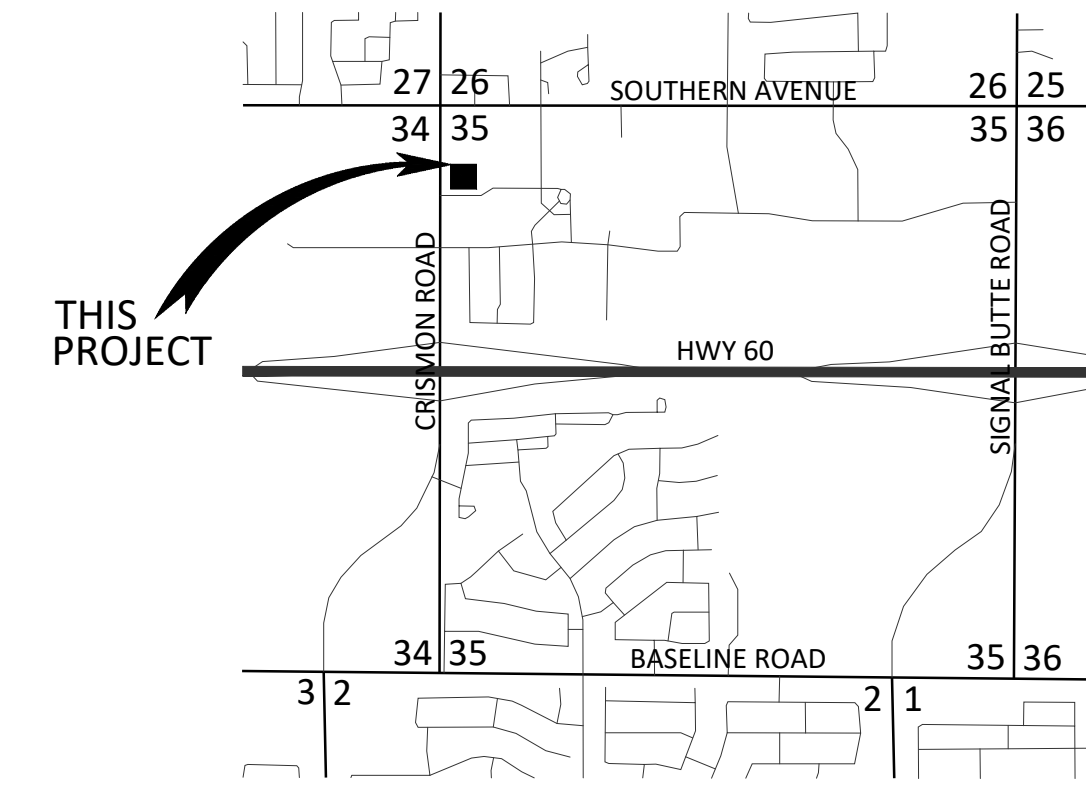
SHEET NO. **T-1**

PRELIMINARY IMPROVEMENT PLAN for 1257 SOUTH CRISMON ROAD

1257 SOUTH CRISMON ROAD MESA, ARIZONA
A PORTION NORTHWEST QUARTER OF SECTION 35, TOWNSHIP 1 NORTH, RANGE 7 EAST OF THE
GILA AND SALT RIVER MERIDIAN MARICOPA COUNTY, ARIZONA

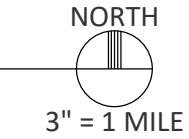


PROJECT OVERVIEW



IN THE NW 1/4 OF THE NW 1/4 OF SECTION 35,
T. 1 N., R. 7 E., G.&S.R.M.,
CITY OF MESA, MARICOPA COUNTY, ARIZONA

LOCATION MAP



CYPRESS
CIVIL DEVELOPMENT
strength + sustainability

4450 north 12th street, #228
phoenix, arizona 85014
p: 623.282.2498
e: dschumacher@cypresscivil.com

CYPRESS PROJECT NO: 18.002



NO.	DATE	REVISION

**PRELIMINARY IMPROVEMENT PLAN for
1257 SOUTH CRISMON ROAD
1257 SOUTH CRISMON ROAD MESA, ARIZONA**

cover

PROJECT INFORMATION

- PROJECT DESCRIPTION:**
THIS PROJECT CONSISTS OF THE CONSTRUCTION OF A FREE-STANDING SINGLE-STORY RETAIL BUILDING WITH DRIVE-THRU AREA AND REQUIRED PARKING, UTILITY, AND GRADING AND DRAINAGE REQUIREMENTS.
- ADDRESS:**
1257 SOUTH CRISMON ROAD
MESA, ARIZONA 85208

APN: 220-81-745B
- ZONING:** LC
- SITE AREA:**
NET AREA: 32,117 SF (0.74 AC)

SURVEY NOTES

- THE SURVEY FOR THIS PROJECT WAS PERFORMED BY:
SUPERIOR SURVEYING SERVICES, INC.
2122 WEST LONE CACTUS DRIVE, SUITE 11
PHOENIX, ARIZONA 85027
PH: 623-869-0223
CONTACT: DAVID S. KLEIN, R.L.S.
- THE BASIS OF BEARINGS FOR THIS PROJECT IS THE MONUMENT LINE OF CRISMON ROAD, ALSO BEING THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 35, USING A BEARING OF N 00°00'22" E, PER THE FINAL PLAT OF CRISMON BUSINESS PARK AMENDED, RECORDED IN BOOK 775 OF MAPS, PAGE 39, RECORDS OF MARICOPA COUNTY, ARIZONA.
- THE BASIS OF ELEVATION FOR THIS PROJECT IS THE BRASS TAG ON TOP OF CURB AT THE NORTHWEST CORNER OF BROADWAY ROAD AND CRISMON ROAD HAVING AN ELEVATION OF 1553.19 FEET, (NAVD 88), PER CITY OF MESA DATUM.

BENCHMARK

THE BENCHMARK USED FOR THIS THIS PROJECT IS THE BRASS TAG ON TOP OF CURB AT THE NORTHWEST CORNER OF BROADWAY ROAD AND CRISMON ROAD HAVING AN ELEVATION OF 1553.19 FEET, (NAVD 88), PER CITY OF MESA DATUM.

LEGAL DESCRIPTION

THAT PORTION OF LOT 3, AS SAID LOT IS SHOWN ON THE PLAT ENTITLED, "CRISMON BUSINESS PARK AMENDED" RECORDED SEPTEMBER 08, 2005 IN BOOK 775 OF MAPS, PAGE 39, RECORDS OF MARICOPA COUNTY, ARIZONA AND THEREAFTER CERTIFICATE OF CHANGE RECORDED IN RECORDING NO. 2007-1092936A, RECORDS OF MARICOPA COUNTY, ARIZONA, LOCATED IN A PORTION OF THE NORTHWEST QUARTER OF SECTION 35, TOWNSHIP 1 NORTH, RANGE 7 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

COMMENCING AT A FOUND BRASS CAP IN HAND HOLE MARKING THE NORTHWEST CORNER OF SAID SECTION 35, FROM WHICH A FOUND ADOT ALUMINUM CAP MARKING THE WEST QUARTER CORNER OF SAID SECTION 35 S 00°00'22" W, A DISTANCE OF 2636.41 FEET;

THENCE S 00°00'22" W ALONG THE WEST LINE OF SAID NORTHWEST QUARTER, A DISTANCE OF 509.75 FEET;
THENCE S 89°55'57" E, A DISTANCE OF 75.00 FEET TO A POINT ON THE WEST LINE OF SAID LOT 3 AND THE TRUE POINT OF BEGINNING;
THENCE CONTINUING S 89°55'57" E, A DISTANCE OF 300.00 FEET TO A POINT ON THE WEST LINE OF SAID LOT 3;
THENCE S 00°00'22" W, ALONG THE EAST LINE, A DISTANCE OF 106.89 FEET;
THENCE N 90°00'00" W, A DISTANCE OF 300.00 FEET TO A POINT ON THE WEST LINE OF SAID LOT 3;
THENCE N 00°00'22" E, ALONG THE WEST LINE, A DISTANCE OF 107.25 FEET TO THE TRUE POINT OF BEGINNING.

FLOODPLAIN INFORMATION

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP PANEL NUMBER 04013C2315L, DATED OCTOBER 15, 2013 THE PARCEL IS LOCATED IN THE ZONE X (SHADED) AREA, WHICH IS DEFINED AS AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

DRAINAGE STATEMENT

- SITE IS IN A SPECIAL FLOOD HAZARD AREA - NO
- OFFSITE FLOWS AFFECT THIS SITE - NO
- RETENTION PROVIDED IS 100-YEAR, 2-HOUR
- EXTREME STORM OUTFALLS THE SITE AT THE DRIVEWAY LOCATED AT THE SOUTHWEST CORNER OF THE SITE SITE WITH AN ELEVATION OF 1509.45.

PROJECT RETENTION

REQUIRED VOLUME:
100-YEAR, 2-HOUR RETENTION:
VOLUME [CF-FT] = C x (P [IN] / 12) x AREA [SF]

V = 0.85 x (2.18/12) x 32,117 = 4,959 CU.FT.

PROVIDED VOLUME:
TOTAL PROVIDED VOLUME = 5,026 CU.FT. VIA 100 LF OF 96" DIAMETER UNDERGROUND CMP STORM WATER RETENTION TANK.

DRYWELL CALCULATIONS

TOTAL VOLUME = 4,959 CF

DRYWELL DISSIPATION RATE = 0.1 CFS

TIME [SEC] = VOLUME [CF] / RATE [CFS]

t = 4,959 / 0.1 = 49,570 SEC = 13.8 HOURS

LEGEND

---	RIGHT-OF-WAY	⊙	EXISTING SEWER MANHOLE
---	PROJECT BOUNDARY LINE	⊙	EXISTING SEWER CLEANOUT
---	OTHER PARCEL LINE	⊙	EXISTING GREASE TRAP MANHOLE
---	ROADWAY CENTERLINE	⊙	EXISTING FIRE HYDRANT
---	FLOW-LINE	⊙	EXISTING TRANSFORMER
---	EXISTING EASEMENT	⊙	EXISTING JUNCTION BOX
---	EXISTING CONTOUR	⊙	EXISTING ELECTRIC PULL BOX
---	EXISTING CONCRETE	⊙	EXISTING STREET LIGHT
---	EXISTING RIP RAP	⊙	EXISTING COMMUNICATION PULLBOX
---	EXISTING WALL	⊙	EXISTING LIGHT PULL BOX
---	NEW ASPHALT	⊙	NEW SEWER CLEANOUT
---	NEW CONCRETE	⊙	NEW WATER VALVE
---	NEW WALL	⊙	NEW WATER METER
---	EXISTING CURB	⊙	NEW BACKFLOW PREVENTER
---	EXISTING PAINT STRIPE	⊙	NEW FIRE CONNECTION
---	NEW CURB	⊙	NEW DRYWELL
---	NEW PAINT STRIPE	⊙	NEW TRANSFORMER
---	EXISTING STORM DRAIN PIPE	⊙	NEW SIGN
---	EXISTING UNDERGROUND ELECTRIC	⊙	NEW SITE LIGHT
---	EXISTING SEWER MAIN	⊙	SURVEY MONUMENT AS NOTED
---	EXISTING WATER MAIN	⊙	SPOT ELEV. (EXIST. GRADE)
---	EXISTING FIRE SERVICE	⊙	SPOT ELEV. (NEW GRADE)
---	EXISTING GAS LINE	⊙	RIGHT-OF-WAY
---	NEW STORM DRAIN PIPE	⊙	RECORDED VALUE
---	NEW SEWER MAIN	⊙	MEASURED VALUE
---	NEW WATER MAIN	⊙	PAVEMENT (ASPHALT)
---	NEW FIRE SERVICE	⊙	CONCRETE
		⊙	TOP OF CURB
		⊙	FINISHED GRADE
		⊙	GRADE BREAK
		⊙	FINISHED FLOOR ELEVATION

UTILITIES

WATER: CITY OF MESA
SEWER: CITY OF MESA
ELECTRIC: SALT RIVER PROJECT
GAS: SOUTHWEST GAS
TELEPHONE: CENTURY LINK
CABLE: COX COMMUNICATIONS

DEVELOPER

BACUS FOOD CORP
1404 SOUTH LONGMORE ROAD
MESA, ARIZONA 85202
PH: 480-696-4274
ATTN: BRANDT BACUS

CIVIL ENGINEER

CYPRESS CIVIL DEVELOPMENT
4450 NORTH 12TH STREET, #228
PHOENIX, ARIZONA 85014
PH: 623-282-2498
ATTN: DERICK SCHUMACHER

ARCHITECT

ARIZADO ARCHITECTURE DESIGN
1255 WEST RIO SALADO PARKWAY, #207
TEMPE, ARIZONA 85281
PH: 480-268-2900
ATTN: CHRIS COOPER

SHEET INDEX

- COVER SHEET
- GRADING AND DRAINAGE PLAN
- ONSITE UTILITY PLAN



THESE PLANS ARE PRELIMINARY AND ARE NOT FOR CONSTRUCTION OR RECORDING.

SITE ADDRESS
1257 SOUTH CRISMON ROAD
MESA, ARIZONA 85208
APN: 220-81-745B

DEVELOPER
BACUS FOOD CORP
1404 SOUTH LONGMORE ROAD
MESA, ARIZONA 85202

SHEET NUMBER
C1



NO.	DATE	REVISION

**PRELIMINARY IMPROVEMENT PLAN for
1257 SOUTH CRISMON ROAD
1257 SOUTH CRISMON ROAD MESA, ARIZONA**
grading and drainage plan

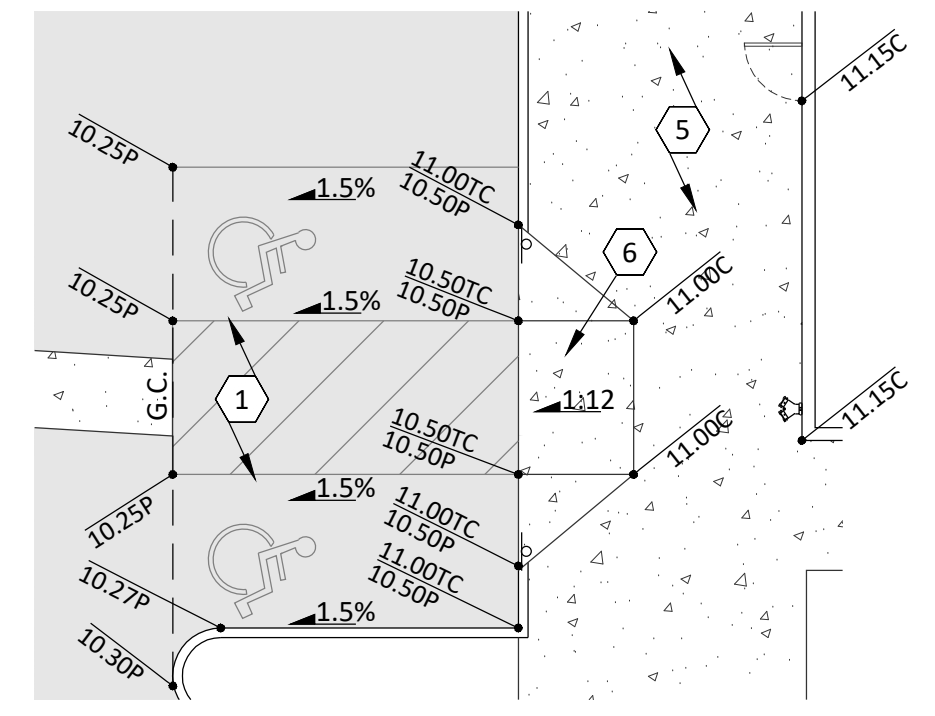
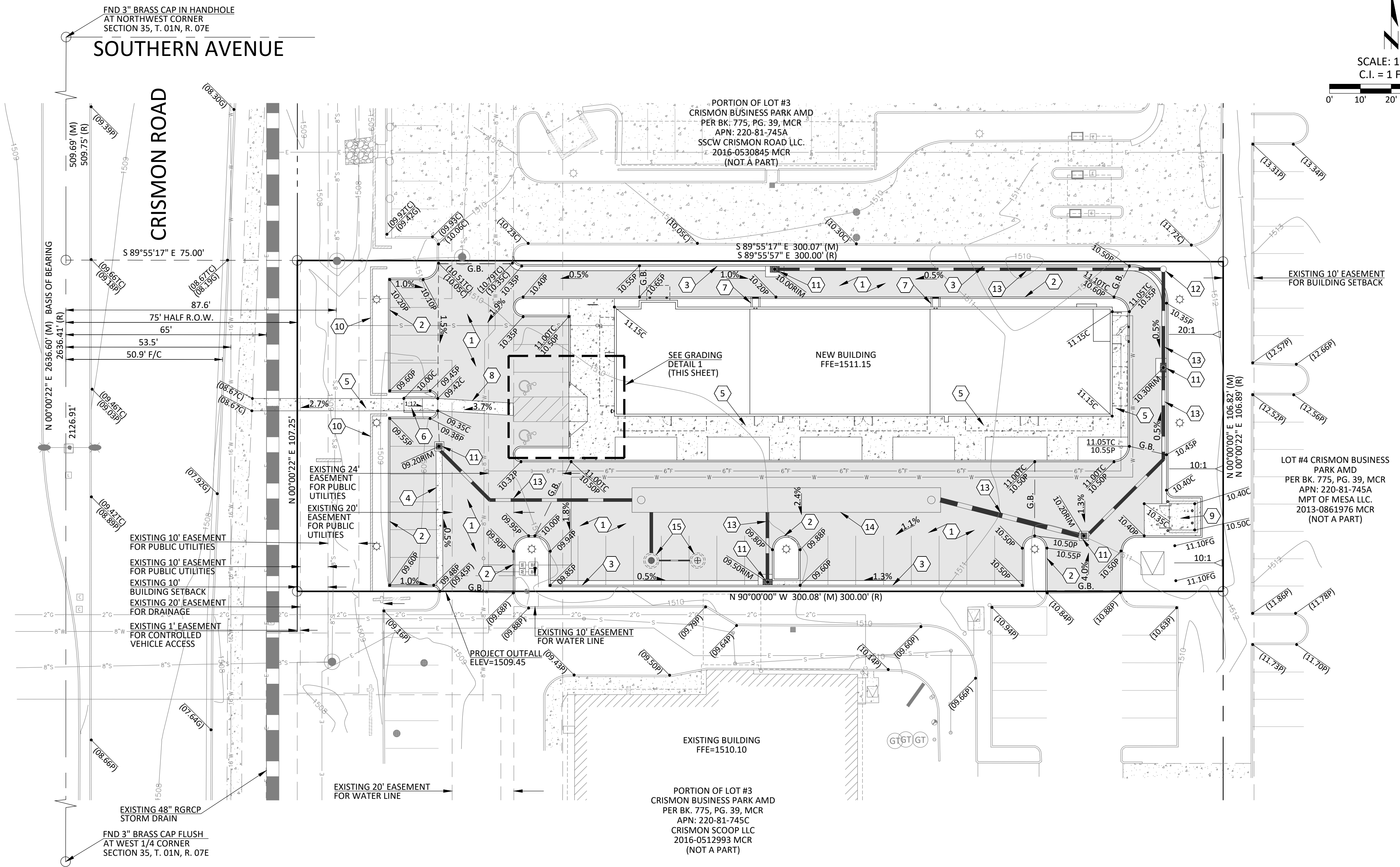
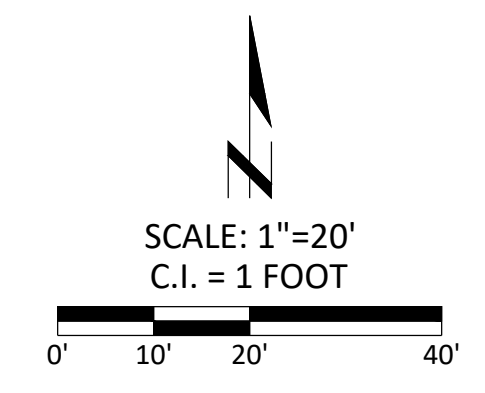
DEVELOPER
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MESA, ARIZONA 85208
APN: 220-81-745B

SHEET NUMBER

KEYNOTES

- 1 NEW ASPHALT PAVEMENT.
- 2 NEW CONCRETE VERTICAL CURB.
- 3 NEW CONCRETE VERTICAL CURB AND GUTTER.
- 4 NEW VALLEY GUTTER.
- 5 NEW CONCRETE SIDEWALK.
- 6 NEW ACCESSIBLE ACCESS RAMP.
- 7 NEW CURB OPENING AND CONCRETE GUTTER AT ROOF DRAIN.
- 8 NEW DECORATIVE CONCRETE CROSSWALK.
- 9 NEW TRASH ENCLOSURE. REFER TO ARCHITECTURAL PLANS.
- 10 NEW MASONRY SCREEN WALL. REFER TO ARCHITECTURAL PLANS.
- 11 NEW STORM DRAIN INLET.
- 12 NEW STORM DRAIN MANHOLE.
- 13 NEW STORM DRAIN PIPE.
- 14 NEW 96" DIAMETER CMP UNDERGROUND STORMWATER RETENTION TANK. LENGTH=100 LINEAR FEET VOLUME=5,026 CUBIC FEET
- 15 NEW DUAL-CHAMBER DRYWELL.



GRADING DETAIL 1
1"=10'



THESE PLANS ARE PRELIMINARY AND ARE NOT FOR CONSTRUCTION OR RECORDING.



NO.	DATE	REVISION

PRELIMINARY IMPROVEMENT PLAN for
1257 SOUTH CRISMON ROAD
1257 SOUTH CRISMON ROAD MESA, ARIZONA
onsite utility plan

DEVELOPER
BACUS FOOD CORP
1404 SOUTH LONGMORE ROAD
MESA, ARIZONA 85202

SITE ADDRESS
1257 SOUTH CRISMON ROAD
MESA, ARIZONA 85208
APN: 220-81-745B

SHEET NUMBER

PRIVATE WATER KEYNOTES

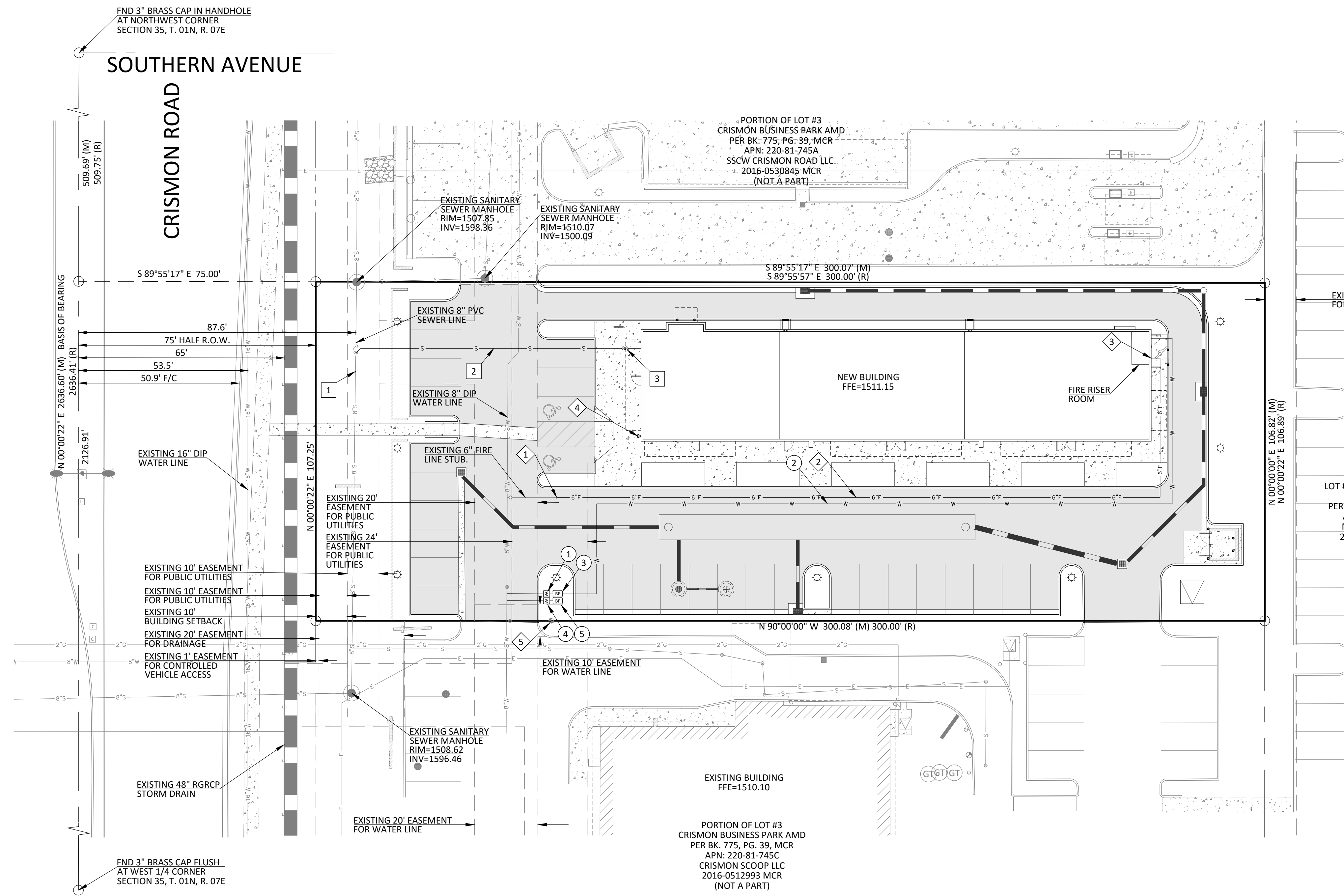
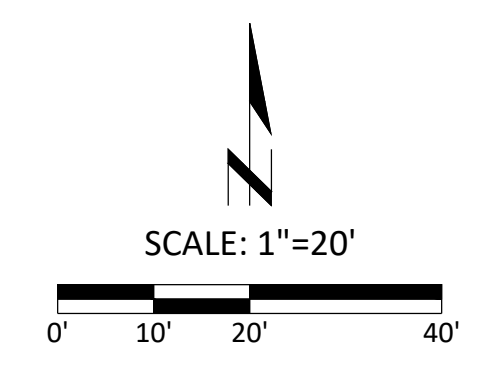
- 1 NEW 2" SERVICE AND METER FOR DOMESTIC WATER SERVICE.
- 2 NEW 2" DOMESTIC WATER LINE.
- 3 NEW DOMESTIC BACKFLOW PREVENTER.
- 4 NEW 3/4" SERVICE AND METER FOR IRRIGATION SERVICE.
- 5 NEW IRRIGATION BACKFLOW PREVENTER.

PRIVATE FIRE LINE KEYNOTES

- 1 CONNECT TO EXISTING 6" FIRE STUB FOR FIRE SERVICE.
- 2 NEW 6" DIP FIRE LINE.
- 3 NEW 6" BACKFLOW PREVENTER WITHIN FIRE RISER ROOM.
- 4 NEW FDC LOCATION.
- 5 EXISTING FIRE HYDRANT TO REMAIN.

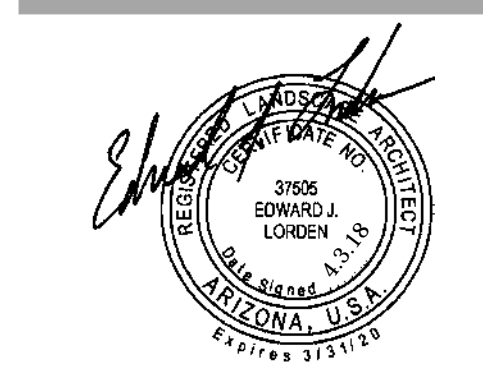
PRIVATE SEWER KEYNOTES

- 1 TAP EXISTING TO EXISTING 8" PVC SEWER MAIN.
- 2 NEW 6" PVC SDR-35 SEWER LINE. 2% MINIMUM SLOPE.
- 3 NEW TWO-WAY SEWER CLEAN OUT.



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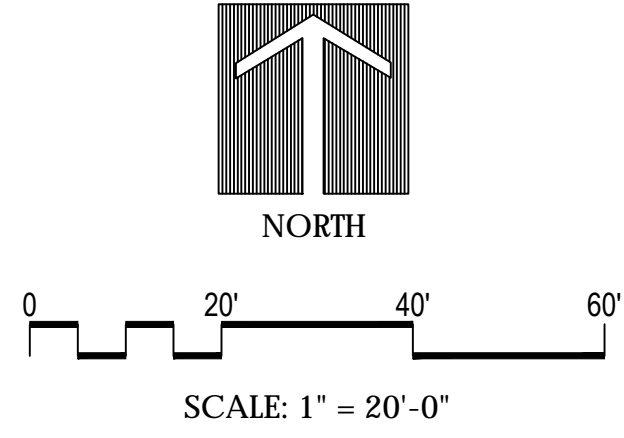
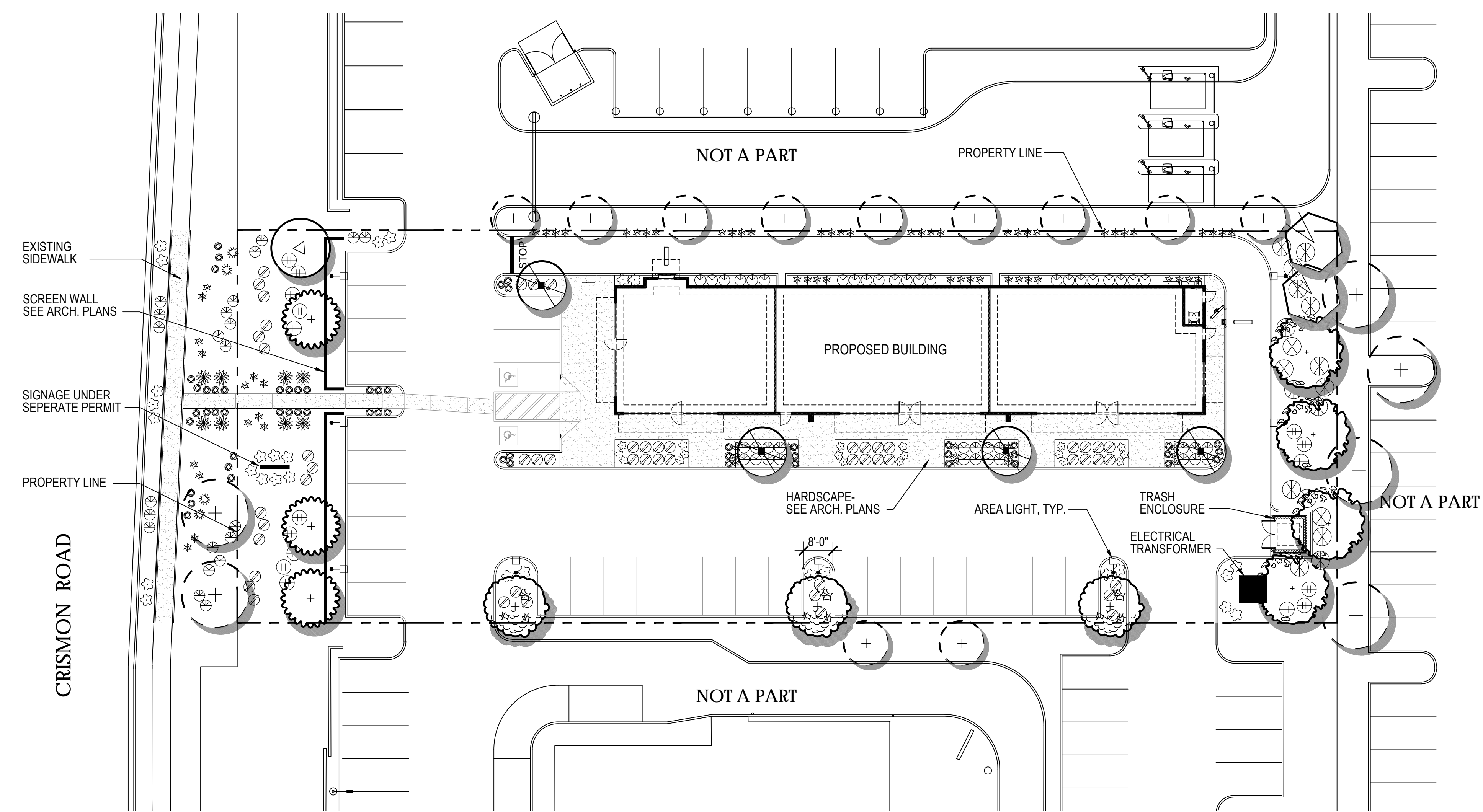
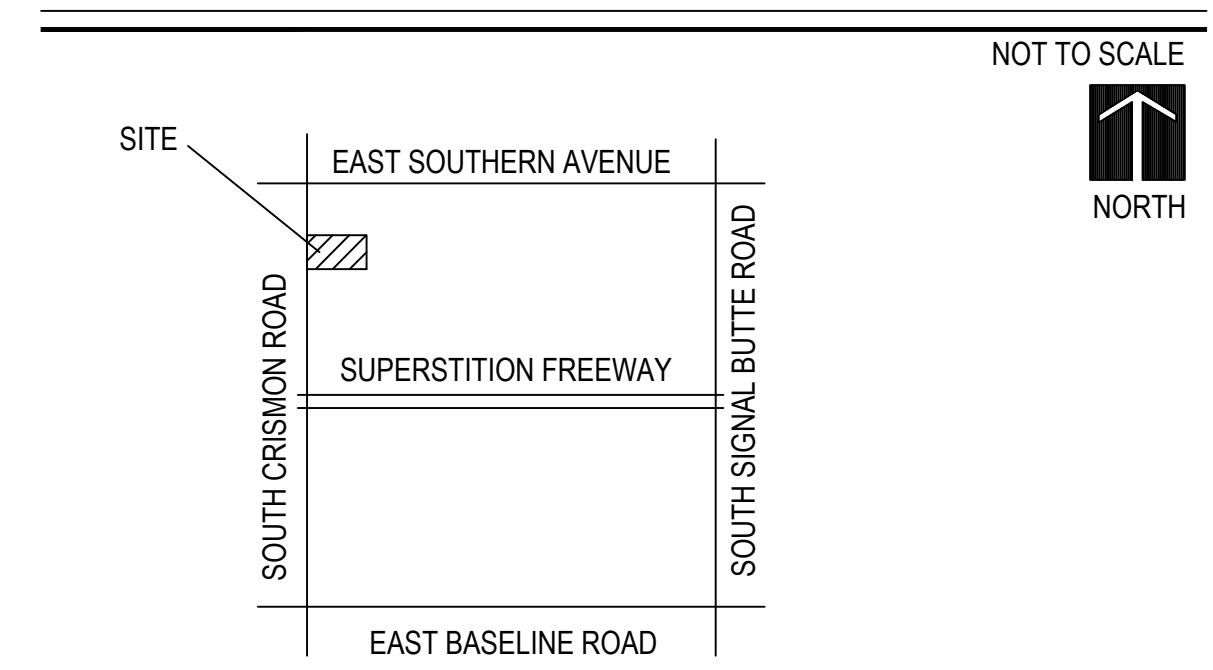
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VICINITY MAP



PLANT LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
TREES			
(+)	EXISTING TREE	VARIES- TO REMAIN	
(+)	ACACIA SALICINA	WILLOW ACACIA	15 GAL/ 24" BOX
(+)	ACACIA WILLARDIANA	PALO BLANCO	24" BOX
(+)	CAESALPINIA CACALACO 'SMOOTHIE'	THORNLESS CASCALOTE	24" BOX/ 36" BOX
(+)	PARKINSONIA PRAECOX	PALO BREA	24" BOX
SHRUBS			
(⊗)	EREMOPHILA HYGROPHANA	BLUE BELLS	5 GAL.
(⊗)	LEUCOPHYLLUM LAEVIGATUM	CHIHUAHUAN SAGE	5 GAL.
(⊕)	RUELLIA BRITTONIANA	BRITISH RUELLIA	5 GAL.
ACCENTS			
(*)	AGAVE DESMETTIANA	SMOOTH AGAVE	5 GAL.
(*)	ALOE 'BLUE ELF'	BLUE ELF ALOE	1 GAL.
(*)	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL.
(☺)	MUHLENBERGIA CAPILLARIS	REGAL MIST	1 GAL.
GROUNDCOVER			
(☆)	LANTANA 'NEW GOLD'	NEW GOLD LANTANA	1 GAL.
(●)	RUELLIA BRITTONIANA 'KATIE'	KATIE RUELLIA	1 GAL.
INERT GROUNDCOVER			
	DECOMPOSED GRANITE	TO BE SELECTED- MATCH SITE TO THE SOUTH	

PRELIMINARY LANDSCAPE NOTES

PLANTING
 THE SITE WILL BE LANDSCAPED IN ACCORDANCE WITH THE CITY OF MESA STANDARDS. ALL TREES AND SHRUBS ARE TO BE STAKED AND PLANTED IN ACCORDANCE WITH THE ARIZONA NURSERY ASSOCIATION PUBLISHED STANDARDS.

SIZES OF TREES AND SHRUBS WILL CORRESPOND WITH REQUIREMENTS SET BY THE CITY OF MESA. ALL PLANTING AREAS WILL RECEIVE A 2" DEPTH OF DECOMPOSED GRANITE AND SHALL BE TREATED WITH PRE-EMERGENT HERBICIDE.

IRRIGATION
 THE IRRIGATION SYSTEM WILL CONSIST OF DRIP EMITTERS AND PRESSURE REGULATORS CONNECTED TO AUTOMATIC VALVES AND WILL BE TIED INTO AUTOMATIC CONTROLLERS AS REQUIRED. THE IRRIGATION SYSTEM SHALL PROVIDE 100% COVERAGE.

GRADING
 ALL EARTHWORK WILL BE DONE SO THAT ALL MOISTURE DRAINS OFF AND AWAY FROM SIDEWALKS AND STRUCTURES. THE MAJORITY OF ONSITE DRAINAGE WILL DRAIN INTO THE RETENTION BASINS LOCATED ON SITE.

1257 S. CRISMON ROAD
 MESA, AZ. 85208

PRELIMINARY-
 NOT FOR
 CONSTRUCTION

MESA, AZ.

PRELIMINARY LANDSCAPE PLAN

SHELL BUILDING

THIS EXHIBIT IS CONCEPTUAL AND IS SUBJECT TO CHANGE WITH FINAL CONSTRUCTION DOCUMENTS

Drawn By:	EL
Job No:	18002
Date:	1.4.18
PL-1	of 1

GENERAL REQUIREMENTS

1. THE WORK INCLUDES NEW SHELL BUILDING CONSTRUCTION, PER SQUARE FOOT CALCULATIONS AS NOTED ON THE TITLE SHEET. CONTRACT WILL INCLUDE CONSTRUCTING WALLS AND CEILINGS FINISHES, DETAILS & SPECIFICATIONS, SECURE AND PAY FOR GOVERNMENT FEES, LICENSES AND PERMITS. CONTRACTORS SHALL VISIT THE PREMISES DURING THE BID PROCESS AND SHALL FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS AND REQUIREMENTS OF THE PROJECT PRIOR TO DEVELOPING THEIR BID. MATERIAL QUANTITIES SHALL BE BASED ON ACTUAL FIELD CONDITIONS AND MEASUREMENTS. DO NOT RELY ON SCALING PLANS FOR ACCURATE DIMENSIONS.
2. PRIOR TO BEGINNING THE WORK, VERIFY ALL EXISTING DIMENSIONS AND SQUARE FOOTAGES, NOTIFY THE OWNER AND ARCHITECT OF COMPLIANCE OR DISCREPANCIES, COMPARING THOSE DISCREPANCIES TO THE NUMBERS ON THE TITLE SHEET.
3. CONTRACTORS SHALL TAKE CARE TO PROTECT EXISTING UTILITIES AND DAMAGE DURING THE CONSTRUCTION PROCESS, AND SHALL CLEAN UP AFTER THEMSELVES AT THE END OF EACH WORKING DAY.
4. RUBBISH AND TRASH SHALL BE REMOVED FROM THE PREMISES AND PROPERLY DISPOSED OF EACH DAY. NO RUBBISH SHALL BE LEFT IN THE PREMISES AFTER WORK IS COMPLETED EACH DAY.
5. ALL DRAWINGS HEREIN CREATE AN ENTIRE PACKAGE. ALL TRADES SHALL BE RESPONSIBLE FOR REVIEWING THEIR RESPECTIVE REQUIREMENTS AND COORDINATING THEIR HIDDEN OR EXPOSED WORK WITH OTHER RELATED TRADES.
6. COORDINATE ALL WORK OF THE VARIOUS TRADES AND SUBCONTRACTORS TO ASSURE EFFICIENT AND ORDERLY INSTALLATION. PROVIDE ACCOMMODATION FOR ITEMS INSTALLED AT A LATER DATE. VERIFY THAT CHARACTERISTICS OF ELEMENTS OF INTERRELATED OPERATING EQUIPMENT ARE COMPATIBLE. COORDINATE WORK OF VARIOUS SECTIONS WHICH HAVE INTERDEPENDENT RESPONSIBILITIES FOR INSTALLING, CONNECTING TO, AND PLACING IN SERVICE. SUCH EQUIPMENT COORDINATE SPACE REQUIREMENTS AND INSTALLATION OF MECHANICAL AND ELECTRICAL WORK AND FIRE SPRINKLER SYSTEM WHICH ARE INDICATED, DETAILED, OR IMPLIED BY DRAWINGS AND SPECIFICATIONS.
7. UNLESS SPECIFICALLY NOTED, PROVIDE AND PAY FOR LABOR, MATERIALS AND EQUIPMENT, TOOLS, CONSTRUCTION EQUIPMENT AND MACHINERY, AND OTHER FACILITIES AND SERVICES NECESSARY FOR PROPER EXECUTION AND COMPLETION OF WORK, INCLUDING PERMITS. UNLESS OTHERWISE SPECIFIED BY OWNER.
8. GENERAL CONTRACTOR SHALL PURCHASE AND MAINTAIN INSURANCE COVERAGE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LANDLORD AND THE TENANT. VERIFY AND COORDINATE WITH THE TENANT FOR ANY ADDITIONAL REQUIREMENTS.
9. FURNISH ALL REQUIRED TEMPORARY FACILITIES AND ALL TEMPORARY UTILITIES IMMEDIATELY AFTER RECEIPT OF NOTICE TO PROCEED FOR USE IN CONVENIENCE OF ALL THOSE ENGAGED IN THE PROJECT WORK.
10. ALL CONTRACTORS MUST STAY BEHIND THE BARRIERS AND MAINTAIN ACCESS TO ALL SUCH AREAS CLEAN AND FREE OF CONSTRUCTION MATERIALS AND DEBRIS. FAILURE TO MAINTAIN CLEAN STOREFRONT WILL RESULT IN BUILDING MANAGEMENT HAVING SUCH MATERIALS AND DEBRIS REMOVED AND ALL CHARGES FOR MAINTENANCE WILL BE BILLABLE TO GENERAL CONTRACTOR.
11. COORDINATE ALL CONSTRUCTION AND SCHEDULING WITH THE LANDLORD REVIEWING ALL SCHEDULED ACTIVITIES AT OUTSET OF CONSTRUCTION.
12. ALLOWABLE TOLERANCES - UNLESS OTHERWISE SPECIFIED OR INDICATED, THE FOLLOWING TOLERANCES SHALL APPLY TO ALL WORK:
 - A. ALL VERTICAL SURFACES SHALL BE PLUMB OR CONSTRUCTED TO THE EXACT ANGLES OR ANGLES INDICATED.
 - B. THE MAXIMUM DEVIATION FROM THE TRUE PLANE FOR VERTICAL AND HORIZONTAL SURFACES SHALL NOT BE GREATER THAN 1/8" IN 10'-0" AS MEASURED BY A STRAIGHT EDGE PLACED ANYWHERE ON THE SURFACE.
 - C. ALL HORIZONTAL SURFACES SHALL BE LEVEL OR CONSTRUCTED TO THE EXACT ANGLE INDICATED OR INTENDED.
 - D. WALL AND SOFFIT INTERSECTIONS SHALL BE 90° OR THE EXACT ANGLE INDICATED OR INTENDED.
 - E. ALL CORNERS AND EDGES SHALL BE STRAIGHT AND TRUE WITHOUT DENTS, WAVES OR BULGES OR OTHER BLEMISHES.
 - F. ALL JOINTS SHALL BE TIGHT, STRAIGHT, EVEN AND SMOOTH. ALL OPERABLE ITEMS SHALL OPERATE SMOOTHLY WITHOUT STICKING OR BINDING AND WITHOUT EXCESSIVE "PLAY" OR LOOSENESS.
13. THE FOLLOWING MATERIALS SHALL BE LEFT AT JOBSITE. THEY SHALL BE TAKEN FROM THE SAME MATERIAL, LOT OR RUN USED TO CONSTRUCT AND FINISH THE PROJECT:
 - A. ONE FULL GALLON OF EACH PAINT COLOR IN A CLEAN, TIGHTLY CLOSED CAN, AND CLEARLY MARKED.
 - B. ONE FULL BOX OF EACH CERAMIC FLOOR TILE FREE FROM NICKS, SCRATCHES OR CRACKS.
 - C. ONE-HALF BAG OF TILE GROUT.MATERIALS SHALL BE LEFT IN ONE LOCATION UPON OWNER'S REPRESENTATIVE'S DIRECTION AND APPROVAL.
14. THE OWNER OR THE OWNER'S SUBCONTRACTORS MAY OCCUPY PORTIONS OF THE PROJECT DURING THE FINAL STAGE OF CONSTRUCTION. COORDINATE AND COOPERATE WITH THE OWNER TO MINIMIZE CONFLICT AND FACILITATE THE OWNER'S OPERATION.
15. ALL DIMENSIONS SHALL BE VERIFIED AND FINISHES SHALL BE COORDINATED WITH EXISTING CONDITIONS PRIOR TO CONSTRUCTION, FABRICATION, OR PURCHASING. IN CASE OF CONFLICT BETWEEN THE PROJECT REQUIREMENTS AND/OR EXISTING CONDITIONS, THE CONTRACTOR HAS THE MOST STRINGENT REQUIREMENTS SHALL GOVERN, AS APPROVED BY THE OWNER.
16. PERFORM ALL WORK IN ACCORDANCE WITH ACCEPTABLE TRADE PRACTICE TO INSURE THE HIGHEST QUALITY FINISHED PRODUCT, EXPRESSED OR IMPLIED. PERFORM ALL WORK BY SKILLED MECHANICS WITH ESTABLISHED STANDARDS OF WORKMANSHIP IN EACH OF THE VARIOUS TRADES.
17. COORDINATE BLOCKING REQUIREMENTS WITH ADJACENT OR RELATED TRADES. ACCESSORIES, EQUIPMENT AND FIXTURES INSTALL REQUIRED BLOCKING AT NO ADDITIONAL COST TO THE CONTRACT.
18. REPAIR PROPERTY DAMAGE BY THE INSTALLERS TO A LIKE NEW CONDITION OR REPLACE DAMAGED SURFACE AND MATERIALS OF THE PREVIOUSLY INSTALLED WORK BY OTHER TRADES. INSTALLERS AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR DAMAGE WHERE REQUESTED BY THE OWNER TO CERTIFY CONFORMANCE TO TRADE STANDARDS OR THE PROJECT REQUIREMENTS. THE CONTRACTOR SHALL ENLIST A TESTING LABORATORY AT THE OWNER'S COST, IF THE WORK DOES NOT TEST SHOW NON-COMPLIANCE TO THE GENERALLY ACCEPTED TRADE STANDARDS OR THE PROJECT REQUIREMENTS, THE CONTRACTOR SHALL CORRECT THE DEFICIENCY AT NO ADDITIONAL COSTS TO THE OWNER AND REIMBURSE ALL THE COSTS OF THE TESTING TO THE OWNER, UNLESS THE CONTRACTOR HAS USED PRODUCTS INCORRECTLY LABELED BY THE MANUFACTURER OR HAS MADE PREVIOUSLY APPROVED CHANGES.
19. PROVIDE SECURITY OF THE WORK, INCLUDING TOOLS AND UNINSTALLED MATERIALS. PROTECT THE WORK, STORED PRODUCTS, CONSTRUCTION EQUIPMENT AND THE OWNER'S PROPERTY FROM THEFT AND VANDALISM AND THE PREMISES FROM ENTRY BY UNAUTHORIZED PERSONNEL UNTIL ACCEPTANCE BY OWNER.
20. MAINTAIN AN ACTIVE FIRE EXTINGUISHER AT THE PROJECT.
21. DO NOT USE MATERIAL OR EQUIPMENT FOR ANY PURPOSE OTHER THAN THAT FOR WHICH IT IS SPECIFICALLY DESIGNED OR SPECIFIED. ALL MATERIALS AND EQUIPMENT THAT ARE SIMILAR SHALL BE THE SAME TYPE, MODEL AND STYLE FOR THE SAME USE THROUGHOUT THE PROJECT OR THE SAME TYPE, MODEL AND STYLE FOR THE SAME USE.
22. WHEN THE PROJECT REQUIREMENTS REQUIRE THAT THE INSTALLATION OF WORK SHALL COMPLY WITH MANUFACTURER'S INSTRUCTIONS, PERFORM THE WORK IN STRICT ACCORDANCE WITH THE MOST CURRENT WRITTEN MANUFACTURER'S INSTRUCTIONS.
23. ALL PRODUCTS AND EQUIPMENT SHALL BE DELIVERED IN UNDAMAGED CONDITION AND STORED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS TO AVOID DISRUPTION OF THE WORK OR DAMAGE TO THE ITEMS. REPLACE DAMAGED OR UNFIT MATERIALS, AT NO COST TO THE OWNER.
24. NOTIFY THE OWNER WHEN THE WORK IS SUBSTANTIALLY COMPLETE AND READY FOR INSPECTION. UPON INSPECTION, PROVIDE WRITTEN OPERATION AND MAINTENANCE INSTRUCTIONS AND WARRANTIES FOR ALL EQUIPMENT AND MATERIALS INSTALLED. PROVIDE WRITTEN GUARANTEES FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THE WORK.
25. PROVIDE FINAL CLEAN-UP AND DAMAGE REPAIR AT THE PROJECT CONCLUSION. LEAVE THE PREMISES NEAT, CLEAN AND CLEAR OF TOOLS, EQUIPMENT AND SUPPLIES. REMOVE ALL MATERIALS, UNLESS REQUESTED BY THE OWNER. CLEAN-UP SHALL INCLUDE AND NOT BE LIMITED TO:
 - A. POWER WASHING THE ENTIRE SPACE.
 - B. REPAIR OR REPLACEMENT OF PROPERTY DAMAGED DURING FINAL COMPLETION OF THE PROJECT.

DEMOLITION / BUILDING ALTERATIONS

1. THE WORK MAY INCLUDE DEMOLITION OF EXISTING CONSTRUCTION, REMOVAL OF VARIOUS ITEMS OF EQUIPMENT AND CONSTRUCTION, AND THE CUTTING OR ALTERATION OF EXISTING CONSTRUCTION AS SHOWN, NOTED OR IMPLIED ON THE DRAWINGS. CONTRACTOR SHALL DETERMINE AND INVENTORY ALL NECESSARY DEMOLITION AND ALTERATION OF ITEMS TO PROVIDE FOR A COMPLETE INSTALLATION OF NEW WORK. ALL COSTS OF REMOVAL OR REPLACEMENT SHALL BE INCLUDED IN THE BIDDING. ADDITIONAL COSTS FOR DEMOLITION OF ITEMS HIDDEN OR INACCESSIBLE DURING THE BIDDING PHASE, SHALL BE SUBMITTED FOR APPROVAL PRIOR TO BEGINNING THE WORK.
2. AT ALTERED CONSTRUCTION REPAIR CUT EDGES, REPLACE CONSTRUCTION AND FIT NEW TO EXISTING CONSTRUCTION TO MATCH EXISTING WORK. MAKE JOINTS OF NEW AND EXISTING PATCHES VERY SMOOTH, EVEN AND PRACTICALLY INVISIBLE. COORDINATE ALL REPAIR AND REPLACEMENTS WITH LANDLORD'S CONSTRUCTION CRITERIA AND TENANTS COORDINATOR. SAW-CUT CONCRETE ON GRADE WITH DIAMOND SAW. JACKHAMMERING WILL NOT BE PERMITTED EXCEPT WITH THE EXPRESSED WRITTEN APPROVAL OF THE LANDLORD. CUT IN ACCURATELY LOCATED STRAIGHT LINES AND BREAK OUT SECTIONS. FLOOR MAY BE CORE DRILLED WHERE APPROPRIATE FOR INSTALLATION OF PIPES AND SIMILAR ITEMS. COORDINATE ALL CORE LOCATIONS AND SLAB MODIFICATIONS WITH LANDLORD'S STRUCTURAL ENGINEER. WHERE EXISTING PIPING AND OTHER SIMILAR ITEMS ARE UNDER EXISTING SLABS, EXERCISE CARE TO PROTECT FROM DAMAGE EXERCISE CARE WHEN CUTTING ADJACENT TO EXISTING WALLS TO AVOID DAMAGE TO WALLS IF DAMAGED, REPAIR AS REQUIRED TO ORIGINAL CONDITION. DO NOT CUT SUSPENDED SLAB EXCEPT AS NOTED ON DRAWINGS.
3. DOORS AND FRAMES: IF DOORS AND FRAMES ARE TO BE REUSED ON THE WORK, CAREFULLY REMOVE DOOR FROM FRAMES AND REMOVE FRAMES FROM OPENING, TAKING CARE TO AVOID DAMAGE REMOVE HARDWARE, CLEAN REFINISH, AND STORE FOR REINSTALLATION WHERE INDICATED FOR DOORS AND FRAMES TO BE SALVAGED, CAREFULLY REMOVE FROM OPENING AND DELIVER FOR STORAGE WHERE INDICATED.

5. PREVENT MOVEMENT OR SETTLEMENT OF STRUCTURE. PROVIDE AND PLACE BRACING AND SHORING AND BE RESPONSIBLE FOR SAFETY AND SUPPORT OF STRUCTURE, AS DETERMINED BY G.C. ENLISTED STRUCTURAL ENGINEER. ASSUME LIABILITY FOR SUCH MOVEMENT, SETTLEMENT DAMAGE OR INJURY.
6. ARRANGE AND PAY FOR DISCONNECTING, REMOVING AND CAPPING UTILITY SERVICES WITHIN AREAS AFFECTED BY DEMOLITION. PLACE MARKERS TO INDICATE LOCATION OF DISCONNECTED SERVICES. WHERE APPLICABLE, LOCATE SPRINKLER SHUT-OFF VALVE AND SMOKE ALARM PRIOR TO COMMENCING WORK. COORDINATE REQUIRED MODIFICATION WITH LANDLORD.
7. CAREFULLY REMOVE MATERIALS AND EQUIPMENT WHICH ARE INTENDED TO BE REUSED. STORE IN A SECURE LOCATION. REMOVE DEBRIS, REFUSE AND MATERIALS BEING DEMOLISHED IMMEDIATELY FROM THE SITE.
8. ERECT AND MAINTAIN WEATHERPROOF AND DUSTPROOF CLOSURES AND PARTITIONS TO PREVENT WEATHER DAMAGE OR SPREAD OF DUST, FUMES AND SMOKE TO OTHER PARTS OF THE BUILDING, IN ACCORDANCE WITH GUIDELINES AND STIPULATIONS OF LOCAL AUTHORITIES & LANDLORD.
9. PERFORM DEMOLITION IN ACCORDANCE WITH APPLICABLE AUTHORITIES HAVING JURISDICTION.
10. REPAIR ALL DEMOLITION IN EXCESS OF THAT REQUIRED AT NO COST TO THE OWNER.
11. REMOVE FROM SITE CONTAMINATED, VERMIN INFESTED OR DANGEROUS MATERIALS ENCOUNTERED; DISPOSE OF BY SAFE MEANS TO PROTECT HEALTH OF WORKERS AND PUBLIC.

CONCRETE REPAIR AND REPLACEMENT

1. WORK INCLUDES PATCHED DEMOLISHED SLAB, IF ANY; FILLING AND LEVELING JOINTS AND CRACKS; AND FILLING ABANDONED ELECTRICAL BOXES AND ANY HOLES GREATER THAN 1/2".
2. USE RACCOL LITH 1/2" AS UNDERLAYER FOR PATCHING OR APPROVED EQUAL MIX SHALL BE TWO PARTS - MORTAR MIX AND LATEX BINDER MIX AND INSTALL PER MANUFACTURER'S LATEST WRITTEN AND RECOMMENDED DIRECTIONS.

WOOD AND PLASTICS

1. ROUGH CARPENTRY
 - A. PREPARE ALL DOORS, HIGH LUMBER AND PLYWOOD IN STANDARD DIMENSIONS. MOISTURE CONTENT NOT MORE THAN 19%, WITH THE INDICATION OF "S-DRY" ON THE GRADE STAMP.
 - B. ALL LUMBER IS TO BE GRADE STAMPED AND IS TO CONTAIN GRADING AGENCY, MILL NUMBER OR NAME, GRADE OR LUMBER SPECIES OR SPECIES GROUPING, COMBINATION DESIGNATION, RULFS UNDER WHICH GRADED, WHERE APPLICABLE.
 - C. LUMBER SHALL BE PROTECTED FROM THE ELEMENTS UNTIL SUCH TIME IT IS USED IN CONSTRUCTION.
 - D. INSTALL ROUGH CARPENTRY WORK TO COMPLY WITH APPLICABLE CODE STANDARDS UNLESS OTHERWISE INDICATED. FOR SHEATHING UNDERLAYMENT AND OTHER PRODUCTS NOT COVERED IN ABOVE SPECIFICATIONS, COMPLY WITH RECOMMENDATIONS OR MANUFACTURER OF PRODUCT INVOLVED FOR USE INTENDED. SET CARPENTRY WORK TO REQUIRED LEVELS AND LINES, WITH MEMBERS PLUMB AND TRUE AND CUT TO FIT.
 - E. SECURELY ATTACH CARPENTRY WORK TO SUBSTRATES AND SUPPORTING MEMBERS USING FASTENERS OF SIZE THAT WILL NOT PENETRATE MEMBERS WHERE OPPOSITE SIDE WILL BE EXPOSED TO VIEW OR RECEIVE FINISH MATERIALS. INSTALL FASTENERS WITHOUT SPLITTING WOOD, FASTEN PRODUCTS TO ALLOW FOR EXPANSION AT JOINTS UNLESS OTHERWISE INDICATED.
 - F. PROVIDE WOOD FRAMING MEMBERS OF SIZE AND SPACING INDICATED. DO NOT SPLICE STRUCTURAL MEMBERS BETWEEN SUPPORTS. FIRESTOP CONCEALED SPACES WITH WOOD BLOCKING NOT LESS THAN 2" THICK, IF NOT BLOCKED BY OTHER FRAMING MEMBERS. PROVIDE BLOCKING WHERE REQUIRED FOR ANCHORAGE OF CASE WORK, ACCESSORIES, AND ELSEWHERE AS REQUIRED.
2. PROVIDE ALL NECESSARY ROUGH HARDWARE IN SIZES AND QUANTITIES REQUIRED BY LOCAL CODE OR APPROVED BY ARCHITECT.
3. USE FINISH OR CASING NAILS FOR EXPOSED WORK; USE TYPE "S" TRIM HEAD SCREWS FOR ATTACHMENT OR WOOD TRIM TO METAL STUDS, RUNNERS OR FURRING.
4. RELIEVE BACKS OF WOOD TRIM, KERF BACKS OF MEMBERS MORE THAN 5" WIDE AND 1" NOMINAL THICKNESS; EASE ALL EXTERNAL CORNERS.
5. INSTALL LAMINATES ONLY WHEN RECEIVING SURFACES ARE IN A SATISFACTORY CONDITION FOR INSTALLATION.
6. USE ADHESIVES RECOMMENDED BY THE MANUFACTURER FOR THE PARTICULAR APPLICATION. INSTALL IN ACCORDANCE WITH MANUFACTURER'S MOST CURRENT PRINTED APPLICATION INSTRUCTIONS.
7. PROTECT FROM DAMAGE BY OTHER TRADES WORKING ADJACENT TO THE INSTALLATION. REPLACE DAMAGED SURFACES.
8. REMOVE EXCESS ADHESIVE AND CLEAN SURFACES USING MANUFACTURER'S RECOMMENDED SOLVENT AND CLEANING PROCEDURES.
9. FILL IN ALL SEAMS WITH MANUFACTURER'S APPROPRIATE COLOR SEAM COMPOUND.
10. INSTALL WOODS AND PLASTICS IN CONFORMANCE WITH DETAILS, WITH THE FOLLOWING CONSIDERATIONS AND REQUIREMENTS:
 - A. INSTALL ALL MATERIAL WITH TIGHT JOINTS.
 - B. MITER CASINGS, MOLDING, BASE AND STOREFRONT LAMINATED OR PAINTED MDF PANELS.
 - C. ALL RUNNING TRIM ONE (1) PIECE UP TO 10'-0". MATCH GRAIN AND COLOR PIECE-TO-PIECE.
 - D. USE FINISH NAILS EXCEPT WHERE SCREWS ARE SPECIFICALLY CALLED FOR OR WHERE SCREWS DO NOT SHOW.
 - E. SET FASTENERS FOR PUTTYING.
 - F. WHERE SCREW ATTACHMENT REQUIRED, SPACE SCREWS AT EQUAL INTERVALS; SINK AND PUTTY IN FINISH WOOD SURFACES.
 - G. ALL MEMBERS AND LINES LEVEL AND PLUMB.
 - H. SELECT AND CUT MATERIAL TO EXCLUDE DAMAGED, MARKED, OR DEFECTIVE MATERIALS.
 - I. FINISH EXPOSED SURFACES SMOOTH, FREE FROM TOOL AND MACHINE MARKS.
 - J. EASE ALL EXPOSED WOOD EDGES 1/8" MINIMUM RADIUS.
 - K. INSTALL FIRE RATED DOORS IN ACCORDANCE WITH REQUIREMENTS OF NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) RECOMMENDATIONS.
 - L. NON-COMB. FIRE TREATED WOOD BEARING FACTORY IMPREGNATED STAMP SHALL BE USED FOR ALL WOOD FRAMING MEMBERS OF EXPOSED WOOD FINISHES TO BE FIRE RETARDANT TREATED UNLESS NOTED OTHERWISE.

SEALANTS AND CAULKING / ROOF PATCHING AND SOUND ATTENUATION BATT INSULATION

1. PROVIDE NON-SAG SEALANT COMPLYING WITH REQUIREMENTS OF FEDERAL SPECIFICATIONS TTS-1453 OR FS TT-S 230 TYPE "II", CLASS "3". PROVIDE ACOUSTICAL SEALANT WHICH SHALL BE NON-HARDENING, NON-DRYING SYNTHETIC RUBBER SEALING COMPOUND WITH MINIMUM 90% SOLIDS. USE AT ALL INTERIOR JOINTS AT INNER SECTIONS BETWEEN PLANES, AROUND DOOR AND WINDOW FRAMES. PRIMER SHALL BE MADE OR RECOMMENDED BY SEALANT MANUFACTURER FOR THE SPECIFIC CONDITIONS AND SUBSTRATES.
2. PROVIDE BACKING MATERIAL BY DOW "ETHAFOAM" OR APPROVED EQUAL. APPLY SEALANT OVER BACKING TO UNIFORM THICKNESS IN CONTINUOUS BEADS FILLING ALL JOINTS AND VOIDS SOLD. SUPERFICIAL POINTING WITH THE SKIM BEAD WILL NOT BE ACCEPTED.
3. ALL SURFACES SHALL BE ADEQUATELY CLEANED AND PREPARED IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS PRIOR TO INSTALLATION.
4. FURNISH ALL LABOR, MATERIALS, TOOLS, EQUIPMENT AND SCAFFOLDING REQUIRED FOR COMPLETING BUILT UP ROOFING FLASHING AND ASSOCIATED SHEET METAL WORK AND RELATED ITEMS INDICATED ON THE DRAWINGS AND SPECIFIED HEREIN. (NOTE: REFER TO DRAWINGS FOR ITEMS APPLICABLE TO THE PROJECT)

ALL MATERIALS INCLUDING FELTS, COMPOSITION FLASHING, BITUMEN, ROOF INSULATION, VAPOR RETARDER, (IF ANY), GREGGATE SURFACING OR OTHER COATING, ETC. IS TO BE COMPATIBLE W/EXIST. ROOFING SYSTEM TO COMPLETE THE PATCHING OF THE EXIST. ROOF.

COORDINATE THIS WORK WITH OTHER TRADES INVOLVED TO AVOID DELAYS AND TO INSURE A SATISFACTORY AND WATERTIGHT INSTALLATION. INSTALL ALL REQUIRED MATERIALS IN A PROPER MANNER TO INSURE A WATERTIGHT AND WEATHERPROOF INSTALLATION.

5. SOUND ATTENUATION BATT INSULATION PROVIDE "OWENS CORNING" SOUND ATTENUATION BATT INSULATION AT ALL PERIMETER WALLS OR TOILET ROOMS FULL HEIGHT OF WALLS. INSULATION SHALL BE 3/2" THICK FRITION FIT INSTALLATION FOR 24" STUD SPACING. CUR AS REQUIRED FOR UTILITIES IN WALLS.

WOOD AND HOLLOW METAL DOORS AND FRAMES

1. PROVIDE KD TYPE WELDED METAL DOOR FRAMES AT ALL G.C. PROVIDED DOORS, AS DETAILED FREE FROM SCALE AND PITTING AND OTHER SURFACE DEFECTS, UNLESS OTHERWISE NOTED.
2. PROVIDE HOLLOW METAL DOOR AS REQUIRED ON PLANS CONSTRUCTED WITH THE FOLLOWING MATERIAL:
 - A. MINIMUM 18 GA. FOR FACE SHEETS OF INTERIOR DOORS.
 - B. 18 GA. FOR EDGE AND CORNER BEADS AT ENDS, EDGES AND CORNERS.
 - C. MINIMUM 22 GA. FOR FACE STIFFENERS.
 - D. MINIMUM 16 GA. FOR INTERIOR FRAMES.
3. PROVIDE DOORS OF SIZES AND TYPES INDICATED ON DRAWINGS, FULLY WELDED SEAMLESS CONSTRUCTION WITH NO VISIBLE SEAMS OR JOINTS ON FACES OR VERTICAL EDGES; THICKNESSES AS SCHEDULED ON DRAWINGS.
4. FACE STIFFENERS, EDGES AND HARDWARE REINFORCEMENT SHALL BE THE HIGHEST QUALITY WORKMANSHIP AND MATERIALS. PROVIDE IN ACCORDANCE WITH BEST TRADE PRACTICE AND MANUFACTURER'S WRITTEN RECOMMENDATIONS FOR THE USE INTENDED.
5. PROVIDE CUSTOM MADE WELDED UNITS WITH INTEGRAL TRIM, SIZES AND SHAPES AS INDICATED ON DRAWINGS; FABRICATE UNITS SQUARE, TRUE AND FREE FROM DEFECTS. HARDWARE REINFORCERS AND ANCHORS (ERECTOR, FLOOR AND JAMB) SHALL BE AS REQUIRED FOR A SECURE INSTALLATION AND SHALL BE IN ACCORDANCE WITH TRADE REQUIREMENTS FOR THE SPECIFIED HARDWARE AND INTENDED USE.
6. AFTER FABRICATION, DRESS, FILL AND SAND EXPOSED SURFACES, BODY-PUTTY HOLES AND IMPERFECTIONS. APPLY UNIFORM COAT OF MANUFACTURER'S STANDARD PRIME COAT TO ALL EXPOSED SURFACES. LEAVE READY TO RECEIVE FINISH PAINTING.
7. NSTALL FRAMES IN ACCURATE LOCATIONS AS INDICATED ON DRAWINGS. INSTALL ALL PLUMB, SHELVE AND TRUE. ALIGN WITH ADJACENT CONSTRUCTION. SECURE FLOOR ANCHORS TO FLOOR CONSTRUCTION WITH APPROVED TYPE MECHANICAL FASTENINGS; ANCHOR TO ADJOINING WALLS WITH SPECIFIED ANCHORS. BRACE FRAMES TO RETAIN POSITION AND CONTINUOUSLY CHECK ALIGNMENT DURING CONSTRUCTION OF ADJACENT WALLS. ADJUST FRAME LOCATIONS AS NECESSARY USING SHIMS BEFORE FASTENING. LEAVE READY TO RECEIVE SEALANT WHERE INDICATED ON DRAWINGS.
8. DOORS SHALL BE WOOD DOORS, FRAMES, AND TRIM. SIZES AND THICKNESS AS SCHEDULED ON THE DRAWINGS.
9. PREPARE DOORS FOR FINISH HARDWARE. OBTAIN TEMPLATES FROM HARDWARE MANUFACTURER AND CONFIRM TYPE, LOCATION, AND SPECIAL REQUIREMENTS OF HARDWARE FOR EACH DOOR PRIOR TO CUTTING.
10. HANG DOORS AS SCHEDULED ON DRAWINGS, IN ACCURATE LOCATIONS WITH 1/8" CLEARANCE AT TOPS AND 3/8" CLEARANCE AT BOTTOM, UNLESS SPECIFICALLY NOTED FOR "UNDERLUTS" OR OTHER DEVIATIONS. FIT, VERIFY CLEARANCES REQUIRED FOR CARPETING AND MAKE NO JOBSITE FIT IN CUTS UNLESS APPROVED. HANG PAIRS OF DOORS AS SPECIFIED WITH 3/32" CLEARANCE AT MEETING EDGES. DEMONSTRATE THAT DOORS OPEN FREELY WITHOUT BINDING, AND WHEN CLOSED, WILL LATCH PROPERLY.

FINISHES

METAL SUPPORT SYSTEM (WALL STUDS)

1. PROVIDE CHANNEL-SHAPED ROLL FORMED SHEET STEEL MEMBERS CONFORMING WITH ASTM C835-03, UNHEAT TREATED FINISH WHERE EXPOSED TO MOISTURE NOT LESS THAN 20 GAUGE PROFILE 16 GAUGE AT DOOR JAMBS AND AT STOREFRONT.
2. PROVIDE COLD ROLLED STEEL CHANNELS NOT LESS THAN 16 GAUGE.
3. PROVIDE ROLL HAT-SHAPED CHANNELS MINIMUM 25 GAUGE, 7/8" DEEP WITH 12" MEMBER CODES. HOT DIPPED FINISH WHERE NOTED.
4. INTERIOR WALL CONNECTIONS TO EXIST. STRUCTURE ABOVE REFER TO DRAWINGS.
5. PROVIDE JACK STUDS BETWEEN BOTTOM TRACK AND WINDOW AND/OR RELIEF SLIPS BETWEEN UNTELS AND HEADERS IN TOP TRACKS.
6. PROVIDE BLOCKING AND FRAMING FOR ALL WALL MOUNTED FINISH HARDWARE AND EQUIPMENT, INCLUDING DOOR STOPS.
7. SET FLOOR TRACKS IN ACCURATE LOCATIONS AND SECURELY ANCHOR IN ACCORDANCE WITH ASTM STANDARDS. ERECT STUDS ON 16" OR 24" (AS INDICATED) CENTERS AND SECURE TO TRACK. INSTALL HEAD TRACK IN ACCORDANCE WITH DETAILS. INSTALL BLOCKING, BRACING, AND ANCHOR STRIPS. LEAVE READY TO RECEIVE FINISH MATERIALS.
8. ERECT ALL COMPONENTS FOR CEILING AND SOFFIT FRAMING IN ACCURATE LOCATIONS AS INDICATED. TRUE TO LINE, LEVEL AND PLUM, AND IN ACCORDANCE WITH APPLICABLE ASTM STANDARDS AS REFERENCED ABOVE, USING A LASER LEVEL. ADJUST SUPPORTS, SPANS OR OTHERWISE FOR INSTALLATION WITH SPECIFIED TOLERANCES.
9. PROVIDE KICK BRACING IN ACCORDANCE WITH INDUSTRY STANDARDS FOR WALL STUDS, CEILING MEMBER, DRAFT OR SMOKE STOPS AND CURTAIN WALLS.

FIBER REINFORCED PANELS (FRP)

1. ALL PANELS SHALL HAVE A CLASS 1 FLAME - SPREAD CLASSIFICATION INDEX OF LESS THAN 100. UNLESS OTHERWISE SPECIFIED, FRP SHALL BE NON-CORRODIBLE AND SHALL NOT RUST OR CORRODE. PROVIDE ALL TRIM AND ACCESSORIES AS REQUIRED FOR A COMPLETE INSTALLATION AS INDICATED AND SPECIFIED HEREIN. COLOR OF PANELS, TRIM AND ACCESSORIES SHALL BE WHITE UNLESS OTHERWISE SPECIFIED.
2. FOLLOW MANUFACTURER'S RECOMMENDED INSTALLATION PROCEDURES FOR ALL PREFINISHED PANEL AS SCHEDULED.
3. PANELS SHALL BE INSTALLED IN A VERTICAL POSITION IN FULL LENGTH UNITS.
4. IF NOT COMPLETELY COVERED, ADHESIVE TO PROVIDE 100% COVERAGE WITH V-NOTCH SPREADER. MITER CUT MOLDINGS AND TRIM PIECES AT CORNERS AND INTERSECTIONS AS REQUIRED TO PROVIDE SMOOTH TRANSITION.
5. UPON COMPLETION OF WORK, SURFACES OF PANELS AND COMPONENTS SHALL BE CLEANED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND LEFT FREE FROM DEFECTS, COMPONENTS THAT ARE DAMAGED OR IMPROPERLY INSTALLED SHALL BE REMOVED AND REPLACED WITHOUT ADDITIONAL COST TO THE OWNER.

PAINTING

1. PROVIDE PAINT FINISHES FOR BUILDING AND OTHER SURFACES AS SCHEDULED ON DRAWINGS OR AS SPECIFIED INCLUDING SEALING OF CONCRETE FLOOR. NO PAINT FINISH IS REQUIRED ON ITEMS HAVING COMPLETE FACTORY FINISH, EXCEPT AS MAY BE SPECIFIED HEREINAFTER. PUTTY AND/OR SEALANT AT ALUMINUM WINDOWS; NON-FERROUS METAL UNLESS SPECIFICALLY MENTIONED IN THE FINISH SCHEDULE. STAINLESS STEEL, INTERIOR OR EXTERIOR OF EXISTING BUILDING, EXCEPT WHERE ALTERATIONS OCCUR OR WHERE SCHEDULED. PAINT GRILLES AND DIFFUSERS. NO PAINTING IS REQUIRED FOR INSULATED PIPING, EXCEPT WHERE EXPOSED IN FIRE RETARDANT TREATED UNLESS OTHERWISE SPECIFIED.
2. PROTECT WORK OF OTHER TRADES FROM DAMAGE AND DEFACEMENT CAUSED BY THIS WORK. REPAIR ANY DAMAGE CAUSED BY THE WORK OF THIS SECTION. REMOVE ELECTRICAL OUTLET AND SWITCH PLATES, MECHANICAL DIFFUSERS, GRILLES, ESCUTCHEONS, REGISTERS, SURFACE HARDWARE, FITTING, AND FASTENINGS PRIOR TO COMMENCING THE WORK. STORE, CLEAN, AND REPLACE UPON COMPLETION.
3. PAINT CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR IF ANY SURFACE TO BE PAINTED OR STAINED IS FOUND TO BE UNSUITABLE TO PRODUCE PROPER FINISH. APPLY NO FINISH MATERIAL UNTIL THE UNSUITABLE SURFACES HAVE BEEN MADE SATISFACTORY.
4. FINISH WORK SHALL BE UNIFORM, OF APPROVED COLOR, SMOOTH AND FREE FROM RUNS. MAKE ENDS OF PAINT ADJOINING OTHER MATERIALS OR COLORS SHARP AND CLEAN. WHERE HIGH GLOSS ENAMEL IS USED, LIGHTLY SAND UNDERCOAT TO OBTAIN A SMOOTH FINISH COAT.
5. PROVIDE ALL NEWLY PAINTED SURFACES WITH (1) COAT TINTED PRIMER AND (2) COATS FINAL COLOR COAT, UNLESS OTHERWISE RECOMMENDED BY MANUFACTURER'S SPECIFICATIONS.
6. DELIVER ALL PAINT TO JOBSITE IN UNOPENED CONTAINERS BEARING THE MANUFACTURER'S LABEL AND SHOWING PAINT TYPE, SHEEN AND COLOR.
7. PAINT TYPES USED SHALL BE THOSE SPECIFICALLY RECOMMENDED BY THE MANUFACTURER FOR THE MATERIAL TO WHICH THEY WILL BE APPLIED. PAINTING CONTRACTOR SHALL FOLLOW MANUFACTURER'S INSTRUCTIONS FOR PROPER APPLICATION OF THE PAINT.
8. ALL SURFACES TO BE PAINTED SHALL BE THOROUGHLY CLEANED AND PREPARED FOR PAINTING PRIOR TO APPLICATION OF PAINT. PROVIDE VENTILATORS AS REQUIRED TO PREVENT BUILD-UP OF FUMES.
9. SANDPAPER ALL NEW WOOD TO SMOOTH AND EVEN SURFACE AND DUST OFF. AFTER PRIMING COAT HAS BEEN APPLIED, THOROUGHLY FILL ALL NAIL HOLES AN OTHER SURFACE IMPERFECTIONS WITH PUTTY TINTED TO MATCH PRIMER OR STAIN TO MATCH WOOD COLOR. SAND ALL WOODWORK BETWEEN COATS TO A SMOOTH SURFACE.
10. BACK PRIME ALL EXTERIOR AND INTERIOR WOOD AND TRIM PRIOR TO INSTALLATION. THOROUGHLY CLEAN SURFACES AND APPLY NO FINISH UNLESS SURFACES ARE DRY AND READY FOR APPLICATION. SANDPAPER SURFACES OF TRIM SMOOTH AND WIPE CLEAN AFTER STAIN COAT HAS BEEN APPLIED, FILL CRACKS AND HOLES WITH PLASTIC WOOD OR PUTTY. IF STAIN HAS BEEN USED, TINT CRACK FILLER TO MATCH; PRIME BACKS OF TRIM PRIOR TO INSTALLATION. SCHEDULED TO RECEIVE PAINT FINISH. FINISH NAIL HOLES, CRACKS AND OTHER IMPERFECTIONS WITH PUTTY AND SAND SMOOTH.
11. AT COMPLETION, TOUCH-UP AND RESTORE FINISH WHERE DAMAGED AND LEAVE ALL SURFACES IN GOOD AND CLEAN CONDITION. PROVIDE FOR MULTIPLE SITE VISITS AS REQUIRED FOR TOUCH-UP AND REFINISHING.
12. OTHER PAINT MANUFACTURER'S MAY NOT BE SUBSTITUTED WITHOUT APPROVAL OF ARCHITECT.
13. FINISH INTERIOR SURFACES, AS SCHEDULED ON DRAWINGS, EXCEPT AS MODIFIED AND SUPPLEMENTED HEREINAFTER AND UPON WRITTEN OWNER APPROVAL. IN GENERAL, USE EGSSHELL FOR ALL INTERIOR FINISHES WITH THE EXCEPTION OF THE OF THE CEILING, WHICH SHOULD BE FLAT. PLEASE REFER TO SHEET A-3 FOR COMPLETE FINISH SCHEDULE.

GYPSUM WALL BOARD

1. PROVIDE GYPSUM WALL PANELS MANUFACTURED IN ACCORDANCE WITH REQUIREMENTS OF ASTM C98/C98M-01.
2. PROVIDE 5/8" FIRE RETARDANT GYPSUM WALL BOARD PANELS 5/8" THICK, TESTED AND QUALIFIED FOR 1-HOUR RATING, TAPERED AND ROUNDED AT EDGES AS INDICATED ON DRAWINGS.
3. PROVIDE ALL EDGE AND CORNER BEADS AT ENDS, EDGES AND CORNERS.
4. WATER RESISTANT GYPSUM WALL BOARD SHALL BE 1/2" THICK, QUALIFIED FOR 1-HOUR RATING, TAPERED AND ROUNDED EDGES AND BE INSTALLED IN ALL WET AREAS AS INDICATED ON DRAWINGS.
5. PROVIDE ALL JOINTS AND CORNERS, PROVIDE U.S. GYPSUM #809 OR APPROVED EQUAL. INSTALL IN LOCATIONS AS RECOMMENDED BY INDUSTRY STANDARDS AND IN COMPLIANCE WITH U.S. GYPSUM STANDARDS.
6. PROVIDE ALL JOINTS AND CORNERS, PROVIDE WITH ASTM C1002-01, UNLESS OTHERWISE NOTED OR INDICATED. PROVIDE TYPE 'S' BUGLE HEAD SCREWS FOR ATTACHMENT OF WALL BOARD TO METAL FRAMING, AND TYPE 'S' PAN HEAD SCREWS FOR ATTACHMENT OF FRAMING TO DOOR FRAMES.
7. PROVIDE ALL INCIDENTAL AND ACCESSORY MATERIALS, TOOLS, EQUIPMENT, AND METHODS REQUIRED FOR SATISFACTORY COMPLETION OF GYPSUM WALL BOARD CONSTRUCTION INCLUDING ACCESS DOORS AND PANELS.
8. APPLY CONTINUOUS BEAD OF SEALANT AT ALL JOINTS OF WALL BOARD ABUTTING ADJACENT CONSTRUCTION, INCLUDING AROUND FRAMED OPENINGS AND OTHER PROTRUSIONS THROUGH WALL BOARD. WHERE SEALANT IS EXPOSED, PROVIDE POLY-SULFIDE SEALANT, WHERE UNEXPOSED, PROVIDE ACOUSTIC SEALANT.
9. APPLY FIRE RESISTANT GROUT TO JOINTS IN ACCORDANCE WITH INDUSTRY STANDARDS. APPLY EMBEDDING COMPOUND REINFORCING TAPE CENTERED OVER JOINT; APPLY SKIM COAT. AFTER TAPING AND EMBEDDING COMPOUND IS DRY, APPLY SECOND COAT FILLING AND TAPING JOINTS WITH SURFACE. NO SECOND COAT REQUIRED AT INTERIOR ANGLES. FIRE TAPE PENETRATIONS AT DEMISING WALLS, CORRIDOR ENVELOPE AND OTHER RATED ASSEMBLIES.
10. PROVIDE FINAL FINISH THAT IS SMOOTH, WITHOUT DIVOTS, BUMPS, BOWS OR ANY OTHER SURFACE BLEMISH, READY TO RECEIVE PAINT.

TILE

1. INSTALL TILE IN AREAS INDICATED. USE ADHESIVES AND APPLY ONLY AS RECOMMENDED BY MANUFACTURER AND IN ACCORDANCE WITH INDUSTRY STANDARDS.
2. INSTALLERS MUST BE SPECIALISTS WITH A MINIMUM OF TWO (2) YEARS EXPERIENCE.
3. ALL INSTALLATION SHALL CONFORM TO THE LATEST APPLICABLE TILE COUNCIL OF AMERICA (TCA) AND OTHER RELEVANT STANDARDS.
4. DO NOT COMMENCE INSTALLATION UNTIL SUBSTRATE HAS BEEN MADE SUITABLE FOR TILE INSTALLATION.
5. PROVIDE ALL AREAS TO RECEIVE TILE FLOORING (PRIOR TO SUBMITTING ESTIMATE) TO DETERMINE THE REQUIRED EXTENT OF SUBFLOOR PREPARATION.
6. SET AND GROUT TILE WHEN AMBIENT TEMPERATURE IS AT LEAST 50 AND RISING. ALIGN ALL JOINTS AND CORNERS.
7. CLEAN METAL AND WOOD SURFACES AND CONCRETE FLOORS, REMOVING ALL FOREIGN MATTER AND CONTAMINANTS SUCH AS GREASE, OIL, DUST, WATER, SURFACE DIRT, OLD SEALANTS OR GLAZING COMPOUNDS AND PROTECTIVE COATINGS. METAL SHALL BE STRENGTHENED AND SMOOTHED. WOOD SHALL BE SMOOTH AND POLISHED.
8. INSTALL TILE TO CONCRETE SUBSTRATE PER TCA STANDARD F113-89 WITH TIGHTLY BUTTED JOINTS, TO PATTERN INDICATED IN THE DRAWINGS, OR AS SPECIFIED BY OWNER. VERIFY LAYOUT AND CUTS WITH PROJECT MANAGER PRIOR TO COMMENCEMENT OF TILE LAYING. REMOVE ALL INTERSECTIONS FOR CONCEALMENT BY BASE WHEN APPLICABLE. VARY MORTAR THICKNESS, AS NECESSARY, TO ACCOMMODATE VARIATION IN THE TILE THICKNESS.
9. PROVIDE ALL TILE IS BEING PLACED TO TRAFFIC AND OTHER WORK. DEEP AREA CLOSED UNTIL TILE IS FIRMLY SET. PROTECT FLOORING FROM DAMAGE. REPLACE DAMAGED TILE AT NO ADDITIONAL COST TO OWNER.
10. INSTALL TILE TO WOOD SURFACES AND ALUMINUM GLAZING CHANNEL AND METAL BASE WITH DOW CORNING 795 SILICONE BUILDING SEALANT. BEADS AT 90° CENTER MAXIMUM.
11. GROUT FLOOR WITH TILE EDGES. WIPE TILES WITH CHEESE CLOTH INSTEAD OF MATERIALS.
12. DAMP CURE PER MORTAR AND GROUT MANUFACTURER'S RECOMMENDATIONS.

GLASS AND GLAZING

1. PROVIDE TEMPERED GLASS, GRAD "B", STYLE #1, TYPE "I", QUALITY 03, 1/2" THICK, UNLESS OTHERWISE NOTED. ALL GLASS TO BE CLEAR GLASS.
2. PROVIDE ALL EDGES TO BE FINISHED TO PREVENT "POINT LOADING".
3. GENERAL GLASS SHALL BE 3/8" IN ACCORDANCE WITH FEDERAL SPECIFICATIONS DD-G-451 AND FGMA GLAZING MANUAL.
4. STOREFRONT GLASS SHALL BE AS REQUIRED FOR THE SIZES AND CONDITIONS INDICATED. WHERE STOREFRONT GLASS IS EXPOSED WHERE INDICATED, FRAME FINISH SHALL BE FACTORY MILL FINISH. REFER TO ELEVATION PLAN FOR TYPE OF FINISH COLOR.
5. ACCESSORIES SHALL BE WHITE UNLESS OTHERWISE SPECIFIED. PROVIDE HARDNESS AND RESILIENT ACCESSORIES DESIGNED FOR POSITIONING GLASS IN RABBETS.
6. PROVIDE CLIPS ON NON-CORROSIVE METAL WITH ROUNDED EDGES DESIGNED FOR CONTACT BLOCKS, NOT GLASS.
7. PROVIDE STANDARD PREFORMED GLAZING TAPE, STANLOCKE 400, TRIMCO 440, OR APPROVED.
8. PROVIDE NON-SHRINKING ELASTOMERIC TAPER WHERE REQUIRED.
9. UPON COMPLETION OF WORK, SURFACES OF PANELS AND COMPONENTS SHALL BE CLEANED. USE ONLY IF REQUIRED BY LOCAL BUILDING CODES, OTHERWISE ALL STOREFRONT GLASS SHALL HAVE A 1/4" VERTICAL CLEAR SPACE BETWEEN GLASS PANELS.
10. ALL EDGES, DRILLED HOLES AND NOTCHES SHALL BE FACTORY CUT AND/OR FACTORY ROUNDED. TOUCH-UP EDGES TO MATCH FRAME.
11. INSTALL IN ACCORDANCE WITH FGMA RECOMMENDATIONS UNLESS NOTED OTHERWISE.
12. VERIFY THAT FRAMES TO RECEIVE GLAZING ARE SQUARE AND TRUE, THAT PERIMETER AREA IS SOUND AND STANDBANT TO PREVENT "POINT LOADING", AND THAT SURFACES ARE CLEAN, DRY AND READY TO RECEIVE GLAZING MATERIALS. REMOVE ALL PROTECTIVE COATING FROM FRAMING SURFACES.
13. CENTER GLASS IN RABBETS AND POSITION SO AS TO MAINTAIN CLEARANCES ON ALL RECOMMENDATIONS. SHIM AS REQUIRED TO POSITION AGAINST FIXED STOPS AND FRAME BARS.
14. SET ALL EXTRUSIONS IN CORRECT LOCATIONS AS SHOWN IN THE DETAILS. THEY SHALL BE CLEAN AND FREE FROM OIL, GREASE AND OTHER CONTAMINANTS.
15. UPON COMPLETION, REMOVE ALL EXCESS SEALANT AND MATERIALS FROM SURFACES; WASH AND CLEAN ALL GLASS FRAMING MEMBERS.
16. WHERE ALUMINUM ITEMS ARE TO BE ERECTED AND IN CONTACT WITH DISSIMILAR METAL SURFACES, PROVIDE CONTACT SURFACES WITH COATING OF AN IMPROVED ZINC CHROMATE PRIMER IN MANNER TO OBTAIN NOT LESS THAN 1.0 MIL DRY FILM THICKNESS.

SUSPENDED CEILING SYSTEM

1. PROVIDE HOLE DOWN CLIPS WITH UL CLASSIFICATION LABEL.
2. WORK INCLUDED: PROVIDE SUSPENDED CEILING SYSTEM WHERE SHOWN ON THE DRAWINGS, IN ACCORDANCE WITH THE DETAILS AND IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. PROVIDE SUFFICIENT NUMBER OF HANGERS TO SUPPORT THE SYSTEM, COMPLYING WITH REQUIREMENTS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION, AND AS APPROVED BY THE ARCHITECT.
3. PROVIDE OTHER MATERIALS, NOT SPECIFICALLY DESCRIBED BUT REQUIRED FOR A COMPLETE AND PROPER INSTALLATION, AS SELECTED BY THE CONTRACTOR SUBJECT TO THE APPROVAL INSTALLATION, AS SELECTED OF THE ARCHITECT.
4. EXAMINE THE AREA AND CONDITIONS UNDER WHICH WORK OF THIS SECTION WILL BE PERFORMED. CORRECT CONDITIONS ARE DEPARTMENTAL TO TIMELY AND PROPER COMPLETION OF THE WORK. DO NOT PROCEED UNTIL UNSATISFACTORY CONDITIONS ARE CORRECTED.
5. EXCEPT AS MODIFIED BY REQUIREMENTS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION, INSTALL WITH THE FOLLOWING MATERIALS AND METHODS AS RECOMMENDED BY THE MANUFACTURER'S INSTALLATION RECOMMENDATIONS AS APPROVED BY THE ARCHITECT.
6. PROVIDE LATERAL BRACING AS REQUIRED BY PERTINENT CODES AND REGULATIONS. SECURE LATERAL BRACING TO STRUCTURAL MEMBERS. SECURE AT RIGHT ANGLES TO THE DIRECTION OF THE PARTITION OR CURBWORKS.
7. MAKE ALL FINISHED SURFACES LEVEL, OR TRUE TO PLANE WHERE PLANE IS DESIGNED TO BE OTHER THAN LEVEL, WITHIN A TOLERANCE OF 1 IN 1000, AND STRAIGHT WITHIN A TOLERANCE OF 1/8" PER 10 FEET.
8. IN ADDITION TO OTHER STIPULATED REQUIREMENTS FOR CLEANING, COMPLETELY REMOVE FINGER PRINTS AND TRACES OF SOIL FROM THE SURFACES OF EXPOSED PORTIONS, USING ONLY CLEANING MATERIALS RECOMMENDED FOR THE PURPOSE BY THE MANUFACTURER OF THE MATERIAL BEING CLEANED.
9. MATERIALS SUSPENSION SYSTEM - AS REQUIRED TO SUPPORT GYPSUM BOARD PANELS, FIXTURES AND ACCESSORIES. COMPPLY WITH ASTM C835, 2" X 4" GRID.
10. HANGER WIRE - NOT LESS THAN 12 GAUGE (106) GALVANIZED STEEL. TYPE - DIRECT HUNG OR INDIRECT FROM DUCTS, PIPES OR CONDUIT. EXPOSED FINISH - WHITE BAKED ENAMEL EDGE MOLDING - METAL CHANNEL TYPE WITH SINGLE FLANGE EXPOSED.

GRID SYSTEM "USG" TYPE DX 1516" EDGE.

CITY OF MESA - BUILDING SAFETY NOTES

REQUIRED FIRE APPARATUS ACCESS ROAD DURING CONSTRUCTION OR DEMOLITION. THE ACCESS ROAD SHALL BE A MINIMUM OF 20 FEET WIDE AND SHALL BE AN ALL-WEATHER DRIVING SURFACE, GRADED TO DRAIN STANDING WATER AND ENGINEERED TO BEAR THE IMPOSED LOADS OF FIRE APPARATUS (74,000 LBS/24,000 LBS PER AXLE) WHEN ROADS ARE WET. FOR EXAMPLE, A MINIMUM OF SIX (6) INCHES OF ABC COMPACTED TO 90% OVER AN APPROVED BASE WOULD MEET THE REQUIREMENT.

THE ACCESS ROAD SHALL BE EXTENDED TO WITHIN 200 FEET OF ANY COMBUSTIBLE MATERIALS AND/OR ANY LOCATION ON THE JOBSITE WHERE ANY PERSONS SHALL BE WORKING FOR A MINIMUM OF FOUR (4) CONTINUOUS HOURS IN ANY DAY. A CLEARLY VISIBLE SIGN MARKED "FIRE DEPARTMENT ACCESS", IN RED LETTERS, SHALL BE PROVIDED AT THE ENTRY TO THE ACCESS ROAD.

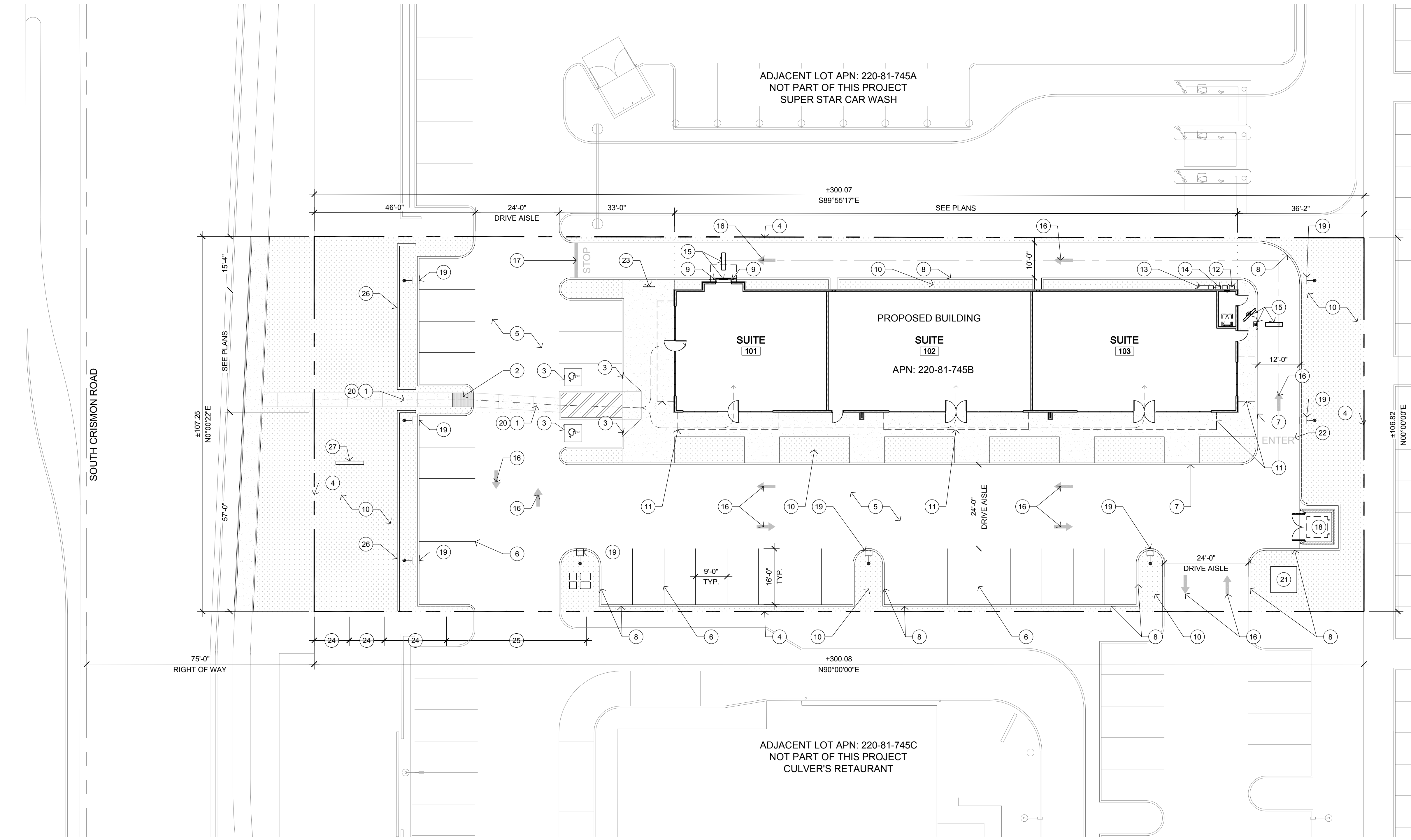
ALL OPEN TRENCHES SHALL HAVE STEEL PLATES CAPABLE OF MAINTAINING THE INTEGRITY OF THE ACCESS ROAD DESIGN WHEN THESE TRENCHES CROSS AN ACCESS ROAD. THE ACCESS ROADS MAY BE TEMPORARY OR PERMANENT. THIS POLICY APPLIES ONLY DURING CONSTRUCTION AND/OR DEMOLITION. PERMANENT ACCESS PER THE MESA FIRE CODE SHALL BE IN PLACE PRIOR TO ANY FINAL INSPECTION OR CERTIFICATE OF OCCUPANCY.

WATER SUPPLY FOR FIRE PROTECTION. AN APPROVED WATER SUPPLY FOR CONSTRUCTION SITE SHALL MEET THE REQUIREMENTS OF APPENDIX CHAPTERS B AND C. THE MINIMUM FIRE FLOW REQUIREMENT WHEN CONTRACTOR OR DEVELOPER BRINGS COMBUSTIBLE MATERIALS ON SITE IS: 500 GPM AT 25 PSI. AT LEAST ONE FIRE HYDRANT SHALL BE WITHIN 500 FEET OF ANY COMBUSTIBLE MATERIAL AND CAPABLE OF DELIVERING THE MINIMUM FIRE FLOW REQUIREMENT. THIS HYDRANT OR HYDRANTS MAY BE EITHER TEMPORARY OR PERMANENT AS THE PROJECT SCHEDULE PERMITS.

IN ADDITION, THERE ARE TIMES WHEN HYDRANTS AND VALVES MUST BE CLOSED TEMPORARILY FOR REPAIR WORK OR FOR MAINTENANCE OF THE FIRE SYSTEM. THE DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THE WATER SUPPLY IS AVAILABLE AT ALL TIMES, WHEN THE WORK IS COMPLETE, DEVELOPER/CONTRACTOR SHALL MAKE SURE THAT THE FIRE HYDRANTS ARE ACTIVE AND THE VALVES ARE OPEN. IFC CHAPTER 14.

COMPLIANCE IS REQUIRED WITH ALL PROVISIONS AND REQUIREMENTS OF IBC CHAPTER 33, SAFEGUARDS DURING CONSTRUCTION, AND, IFC CHAPTER 14 AND NFPA 241, FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION.

CITY OF MESA - SOLID WASTE NOTES



KEYED NOTES

- ACCESSIBLE PATH OF TRAVEL.
- A.D.A. ACCESSIBLE RAMP - SEE 2/SP-3 AND CIVIL DRAWINGS.
- A.D.A. PARKING SYMBOL AND SIGN - SEE 5 AND 8/SP-3 AND CIVIL DRAWINGS.
- SITE BOUNDARY - SEE CIVIL DRAWINGS.
- ASPHALT PAVING - SEE CIVIL DRAWINGS.
- 4" WIDE "TRAFFIC WHITE" PAINTED STRIPES FOR PARKING STALL TYP.
- CONCRETE CURB AT WALK - SEE 1/SP-3 AND CIVIL DRAWINGS.
- CONCRETE CURB AT LANDSCAPE AREA - SEE 3/SP-3 AND CIVIL DRAWINGS.
- CONCRETE BOLLARD - SEE 5/SP-3 AND CIVIL DRAWINGS.
- LANDSCAPE AREA - SEE CIVIL DRAWINGS.
- LINE OF CANOPY ABOVE - SEE WALL SECTIONS/A-6 AND STRUCTURAL DRAWINGS.
- ROOF ACCESS LADDER - SEE 7/SP-3.
- SERVICE ENTRANCE SECTION
- GAS METER - COORDINATE EXACT LOCATION WITH GAS COMPANY.
- DRIVE THRU EQUIPMENT.
- DIRECTIONAL ARROW PAINTED "TRAFFIC WHITE" - SEE CIVIL DRAWINGS.
- "DO NOT ENTER" AND "STOP" WITH 12" SOLID STRIP PAINTED "TRAFFIC WHITE" - SEE CIVIL DRAWINGS.
- PROVIDE CONCRETE PAD AND TRASH ENCLOSURE - SEE 12/SP-3
- SITE LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS.
- CONCRETE WALK - SEE CIVIL DRAWINGS.
- TRANSFORMER ON CONCRETE PAD - SEE CIVIL AND ELECTRICAL DRAWINGS.
- "ENTER" PAINTED "TRAFFIC WHITE" - SEE CIVIL DRAWINGS.
- BRANDIR - RB05IS BIKE RACK INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- PUBLIC UTILITY AND FACILITIES EASEMENT
- ACCESS EASEMENT
- 3'-0" HIGH PARKING SCREEN WALL. SEE CIVIL DRAWINGS AND 10/SP-3
- MONUMENT SIGN BY OTHERS

SITE INFORMATION

EXISTING USE:	VACANT LAND
PROPOSED USE:	RETAIL SHELL BUILDING
GENERAL PLAN:	MIXED USE ACTIVITY DISTRICT
ZONING:	LIMITED COMMERCIAL (NO CHANGE)
PROPOSED BUILDING HEIGHT:	25'-0"
PROPOSED BUILDING FOOTPRINT:	5,404 SQ. FT.
GROSS AREA:	40,188 SQ. FT. 0.922 ACRES
NET AREA:	32,121 SQ. FT. 0.737 ACRES
OWNER:	V J CRISMON LLC
DRIVE-THRU WINDOW STACKING:	REQUIRED: 100'-0" PROVIDED: 177'-0"
DRIVE-THRU MENU STACKING:	REQUIRED: 40'-0" PROVIDED: 40'-0"

SITE PLAN
A 1/16" = 1'-0"
NORTH

ARCHITECTURE
Arizajo DESIGN

1255 WEST RIO SALADO PARKWAY
SUITE 207
TEMPE, AZ 85281
PHONE 480.268.2900
FAX 480.268.2905
WWW.ARIZAJODO.NET



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DATE
DELTA

SHELL BUILDING
SOUTHERN & SOUTH CRISMON
1257 SOUTH CRISMON ROAD
MESA, ARIZONA 85208

CITY OF MESA NOTES

CITY OF MESA GENERAL NOTES FOR PRIVATE LAND DEVELOPMENT MAY 2012

- ALL WORK AND MATERIALS SHALL CONFORM TO THE CURRENT UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION AS FURNISHED BY THE MARICOPA ASSOCIATION OF GOVERNMENTS AND AS AMENDED BY THE CITY OF MESA. ALL WORK AND MATERIALS NOT IN CONFORMANCE WITH THESE AMENDED SPECIFICATIONS AND DETAILS ARE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
- SEPARATE RIGHT-OF-WAY PERMITS ARE REQUIRED FOR ALL PUBLIC UTILITIES, PUBLIC STREET IMPROVEMENTS, AND RIGHT-OF-WAY LANDSCAPING. FOR INFORMATION REGARDING AVAILABILITY AND COST OF RIGHT-OF-WAY PERMITS, CONTACT THE DEVELOPMENT SERVICES DEPARTMENT AT (480) 644-4273 OR AT [HTTP://WWW.MESA.AZ.GOV/DEVSUSTAIN/CONSTRUCTIONPERMITS.ASPX](http://www.mesaaz.gov/devsustain/constructionpermits.aspx). THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED UNLESS OTHERWISE NOTED. CONTRACTORS MUST HOLD THE APPROPRIATE CLASS OF LICENSE AND SHALL HAVE ON FILE WITH THE PERMIT SERVICES SECTION PROOF OF INSURANCE COVERAGE. PERMITS BECOME INVALID AND MUST BE UPDATED IF WORK HAS NOT BEGUN WITHIN NINETY (90) DAYS. PERMITS ALSO BECOME INVALID IF THE CONTRACTOR'S INSURANCE LAPSES OR IS VOIDED.
- TWENTY FOUR (24) HOURS PRIOR TO THE COMMENCEMENT OF ANY WORK, CONSTRUCTION OR INSTALLATIONS ASSOCIATED WITH THIS PERMIT, THE PERMITTEE SHALL NOTIFY CITY OF MESA ENGINEERING DEPARTMENT AT (480) 644-2251 OF INTENT TO BEGIN AND REQUEST SCHEDULE PRELIMINARY FIELD REVIEW AT THE PROJECT SITE WITH THE CITY OF MESA ENGINEERING DEPARTMENT CONSTRUCTION INSPECTOR (CITY INSPECTOR). FAILURE TO PROVIDE PROPER INSPECTION NOTIFICATION AS PRESCRIBED ABOVE SHALL RESULT IN THIS PERMIT BECOMING INVALID AND WORK BEING STOPPED.
- CONTRACTORS SHALL COMPLY WITH THE REQUIREMENTS TO OBTAIN THE NECESSARY RIGHT-OF-WAY PERMITS AND SHALL COMPLY WITH THE RIGHT-OF-WAY PERMIT CONDITIONS AS FOUND ON THE BACK OF

- THE PERMIT FORM.
- THE CITY OF MESA PARKS & RECREATION DIVISION IS NOT REPRESENTED BY BLUE STAKE. WHEN THE CONTRACTOR EXCAVATES NEAR OR ADJACENT TO A CITY PARK, THE CONTRACTOR SHALL CONTACT THE PARKS & RECREATION ADMINISTRATION SECTION AT (480) 644-2354 TO REQUEST ASSISTANCE IN LOCATING ALL THEIR UNDERGROUND FACILITIES.
- THE CONTRACTOR SHALL OBTAIN AN EARTH-MOVING PERMIT FROM THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT AND SHALL COMPLY WITH ITS REQUIREMENTS FOR DUST CONTROL.
- THE ENGINEER HEREBY CERTIFIES AS EVIDENCED BY A PROFESSIONAL SEAL & SIGNATURE, THAT ALL AFFECTED UTILITY COMPANIES BOTH PUBLIC AND PRIVATE HAVE BEEN CONTACTED AND ALL EXISTING AND/OR PROPOSED UTILITY LINES AND OTHER RELATED INFORMATION HAVE BEEN TRANSFERRED ONTO THESE PLANS. THE ENGINEER OR ARCHITECT ALSO HEREBY CERTIFIES THAT ALL EXISTING AND/OR PROPOSED PUBLIC RIGHT-OF-WAY AND EASEMENTS HAVE BEEN CORRECTLY PLOTTED/SHOWN.
- THE ENGINEER, OR LAND SURVEYOR OF RECORD SHALL CERTIFY UPON COMPLETION OF CONSTRUCTION THAT ALL PUBLIC IMPROVEMENTS (WATER AND SEWER UTILITIES, STORM SEWER, CONCRETE, PAVING, STREET LIGHTS, ETC.) HAVE BEEN INSTALLED AT THE LOCATIONS AND ELEVATIONS SHOWN ON THE APPROVED PLANS. ANY CHANGES SHALL BE REFLECTED ON "AS-BUILT" DRAWINGS PROVIDED BY THE ENGINEER TO THE CITY'S ENGINEERING DEPARTMENT.
- THE REGISTERED ENGINEER OR LAND SURVEYOR SHALL CERTIFY THAT THE MINIMUM HORIZONTAL AND VERTICAL SEPARATIONS BETWEEN UTILITIES WITHIN PUBLIC RIGHT-OF-WAY AND EASEMENTS HAVE BEEN MAINTAINED AS REQUIRED BY LAW OR POLICY.
- THE DEVELOPER SHALL PROVIDE ALL CONSTRUCTION STAKING FOR THE PROJECT.
- THE DEVELOPER OR THE ENGINEER IS RESPONSIBLE FOR ARRANGING FOR THE RELOCATION OR REMOVAL OF ALL UTILITIES OR FACILITIES THAT ARE IN CONFLICT WITH THE PROPOSED PUBLIC IMPROVEMENTS.

- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE RELOCATION OF ALL UTILITIES, POWER POLES, IRRIGATION DRY-UPS, RESETS REMOVALS BY OTHERS, ETC.
- THE CONTRACTORS SHALL LOCATE ALL UTILITIES PRIOR TO EXCAVATION AND AVOID DAMAGE TO SAME. CALL (602) 263-1100 FOR BLUE STAKE TWO WORKING DAYS PRIOR TO DIGGING. CALL SALT RIVER PROJECT FOR POLE BRACING, ELECTRIC SERVICE OR CONSTRUCTION SCHEDULING AT (602) 273-8888.
- WHEN GAS MAINS AND/OR SERVICES ARE EXPOSED, CONTACT THE CITY OF MESA AT (480) 644-2261 FOR INSPECTION OF THE EXPOSED PIPE AND COATING PRIOR TO BACKFILLING OF THE TRENCH.
- CONTRACTORS SHALL COMPLY WITH THE PROVISIONS FOR TRAFFIC CONTROL AND BARRICADING PER THE CURRENT CITY OF MESA TRAFFIC BARRICADE MANUAL.
- IF A FIRE HYDRANT IS NEEDED TO OBTAIN CONSTRUCTION WATER, THE CONTRACTOR SHALL OBTAIN A FIRE HYDRANT METER FROM PERMIT SERVICES AND PAY ALL APPLICABLE FEES AND CHARGES.
- IF DURING THE CONSTRUCTION OF A PUBLIC FACILITY, THE CONTRACTOR FAILS TO OR IS UNABLE TO COMPLY WITH A REQUEST OF THE CITY INSPECTOR, AND IT IS NECESSARY FOR CITY FORCES TO DO WORK THAT IS NORMALLY THE CONTRACTOR'S RESPONSIBILITY, THE CITY SHALL BE JUSTIFIED IN BILLING THE CONTRACTOR. EACH INCIDENT REQUIRING WORK BY CITY FORCES SHALL BE COVERED BY A SEPARATE BILLING AT THE CURRENT APPLICABLE RATES.
- THE CONTRACTOR IS ADVISED THAT DAMAGE TO PUBLIC SERVICES OR SYSTEMS AS A RESULT OF THIS PROJECT SHALL BE REPAIRED BY THE CONTRACTOR AND INSPECTED BY THE CITY INSPECTOR. UNLESS OTHERWISE APPROVED BY THE CITY, ALL REPAIRS SHALL BE DONE WITHIN 24 HOURS. THE CONTRACTOR IS ADVISED THAT ANY COSTS RELATED TO REPAIR OR REPLACEMENT OF DAMAGED PUBLIC SERVICES AND SYSTEMS AS A RESULT OF CONTRACTOR'S ACTIVITIES SHALL BE BORNE BY THE CONTRACTOR.

LEGAL DESCRIPTION

THAT PORTION OF LOT 3 AS SAID LOT IS SHOWN ON THE PLAT ENTITLED "CRISMON BUSINESS PART AMENDED" RECORDED SEPTEMBER 08, 2005 IN BOOK 775 OF MAPS, PAGE 39, RECORDS OF MARICOPA COUNTY, ARIZONA AND THEREAFTER CERTIFICATE OF CHANGE RECORDED IN RECORDING NO. 2007-1092936A, RECORDS OF MARICOPA, ARIZONA, LOCATED IN A PORTION OF THE NORTHWEST QUARTER OF SECTION 35, TOWNSHIP 1 NORTH, RANGE 7 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

COMMENCING AT A FOUND BRASS CAP IN HAND HOLE MARKING THE NORTHWEST CORNER OF SAID SECTION 35, FROM WHICH A FOUND ADOT ALUMINUM CAP MARKING THE WEST QUARTER CORNER OF SAID SECTION 35 BEARS SOUTH 00 DEGREES 00 MINUTES 22 SECONDS WEST, A DISTANCE OF 2636.41 FEET;

THENCE SOUTH 00 DEGREES 00 MINUTES 22 SECONDS WEST ALONG THE WEST LINE OF SAID NORTHWEST QUARTER, A DISTANCE OF 509.75 FEET;

THENCE SOUTH 89 DEGREES 55 MINUTES 57 SECONDS EAST, A DISTANCE OF 75.00 FEET TO A POINT ON THE WEST LINE OF SAID LOT 3 AND THE TRUE POINT OF BEGINNING;

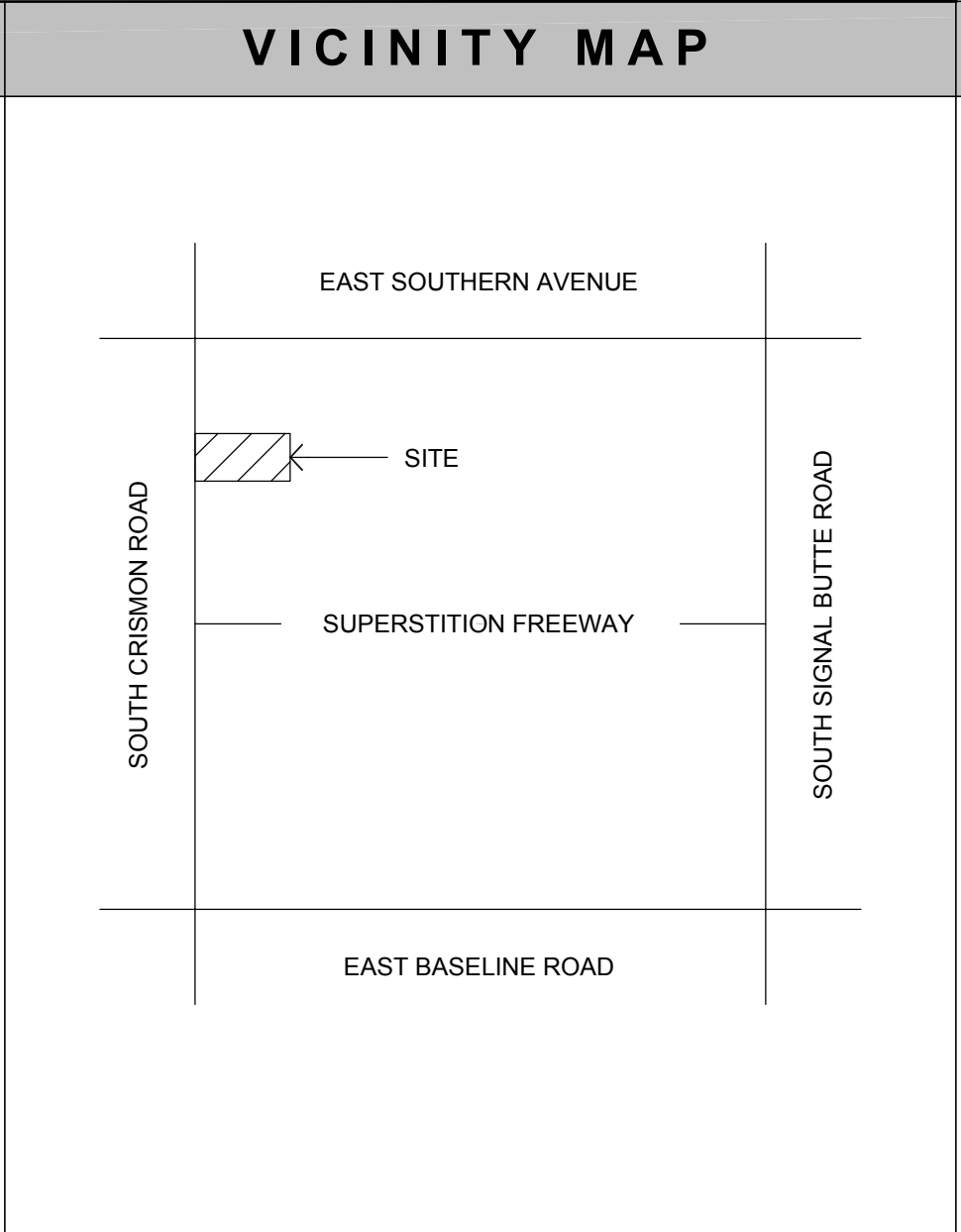
THENCE CONTINUING SOUTH 89 DEGREES 55 MINUTES 57 SECONDS EAST, A DISTANCE OF 300.00 FEET OF SAID LOT 3;

THENCE SOUTH 00 DEGREES 00 MINUTES 22 SECONDS WEST, ALONG THE EAST LINE, A DISTANCE OF 106.89 FEET;

THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS WEST, A DISTANCE OF 300 FEET TO A POINT ON THE WEST LINE OF SAID LOT 3;

THENCE NORTH 00 DEGREES 00 MINUTES 22 SECONDS EAST ALONG THE WEST LINE, A DISTANCE OF 107.25 FEET TO THE TRUE NORTH POINT OF BEGINNING.

APN: 220-81-745B



PARKING ANALYSIS

CITY OF MESA ZONING ORDINANCE (TABLE 11-32.3.A)

USE CATEGORY:	GROUP COMMERCIAL DEVELOPMENTS
USE SUBCATEGORY:	SHELL BUILDINGS (NO SPECIFIED USE)
	1 SPACE PER 275 SQUARE FEET

REQUIRED PARKING:

SUITE 101:	1478 / 275 SQ.FT.	= 5.37	6
SUITE 102:	1959 / 275 SQ.FT.	= 7.12	8
SUITE 103:	1967 / 275 SQ.FT.	= 7.15	8
TOTAL REQUIRED PARKING STALLS:			22
TOTAL PROVIDED PARKING STALLS:			28

REQUIRED ACCESSIBLE PARKING: (TABLE 208.2)

TOTAL REQUIRED PARKING STALLS:	2
TOTAL PROVIDED PARKING STALLS:	2

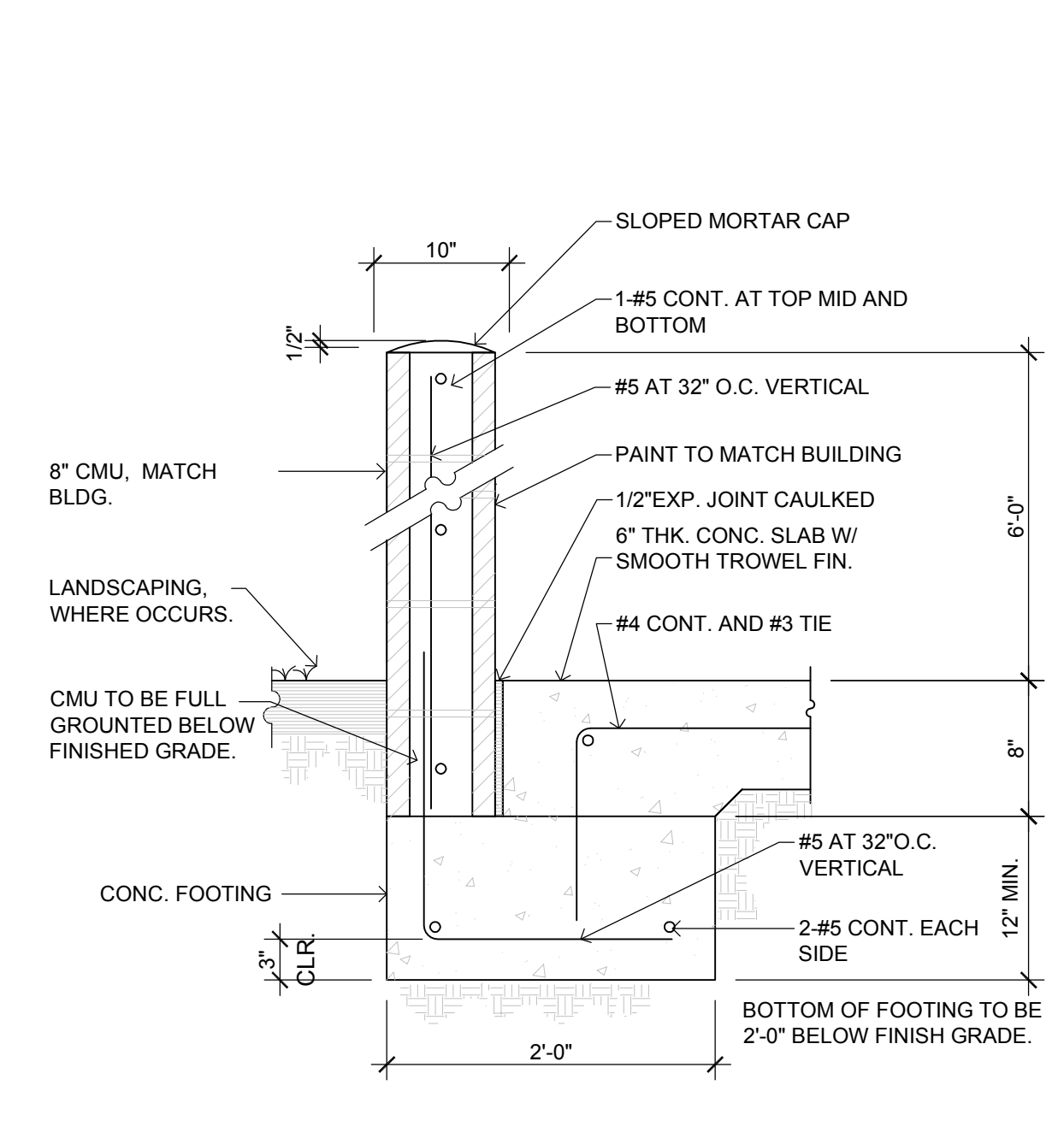
REQUIRED BICYCLE PARKING (SECTION 11-32.8)

TOTAL REQUIRED BICYCLE PARKING:	1:10 STALLS
TOTAL PROVIDED BICYCLE PARKING:	5

SHEET TITLE
SITE PLAN

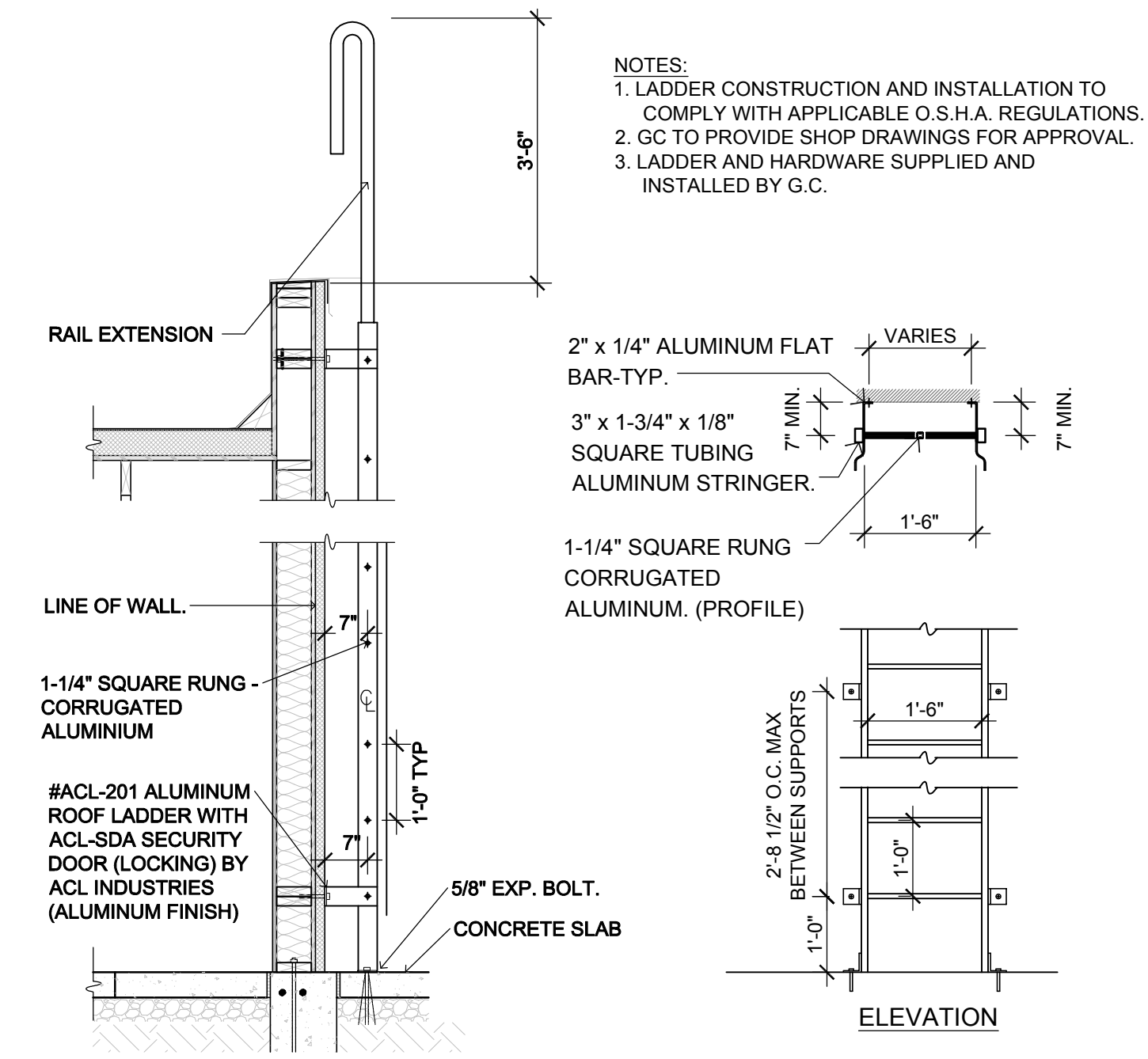
JOB NO
A17392

DATE 4/2/18
SCALE AS NOTED
DRAWN BW
CHECKED CC
SHEET NO
SP-2



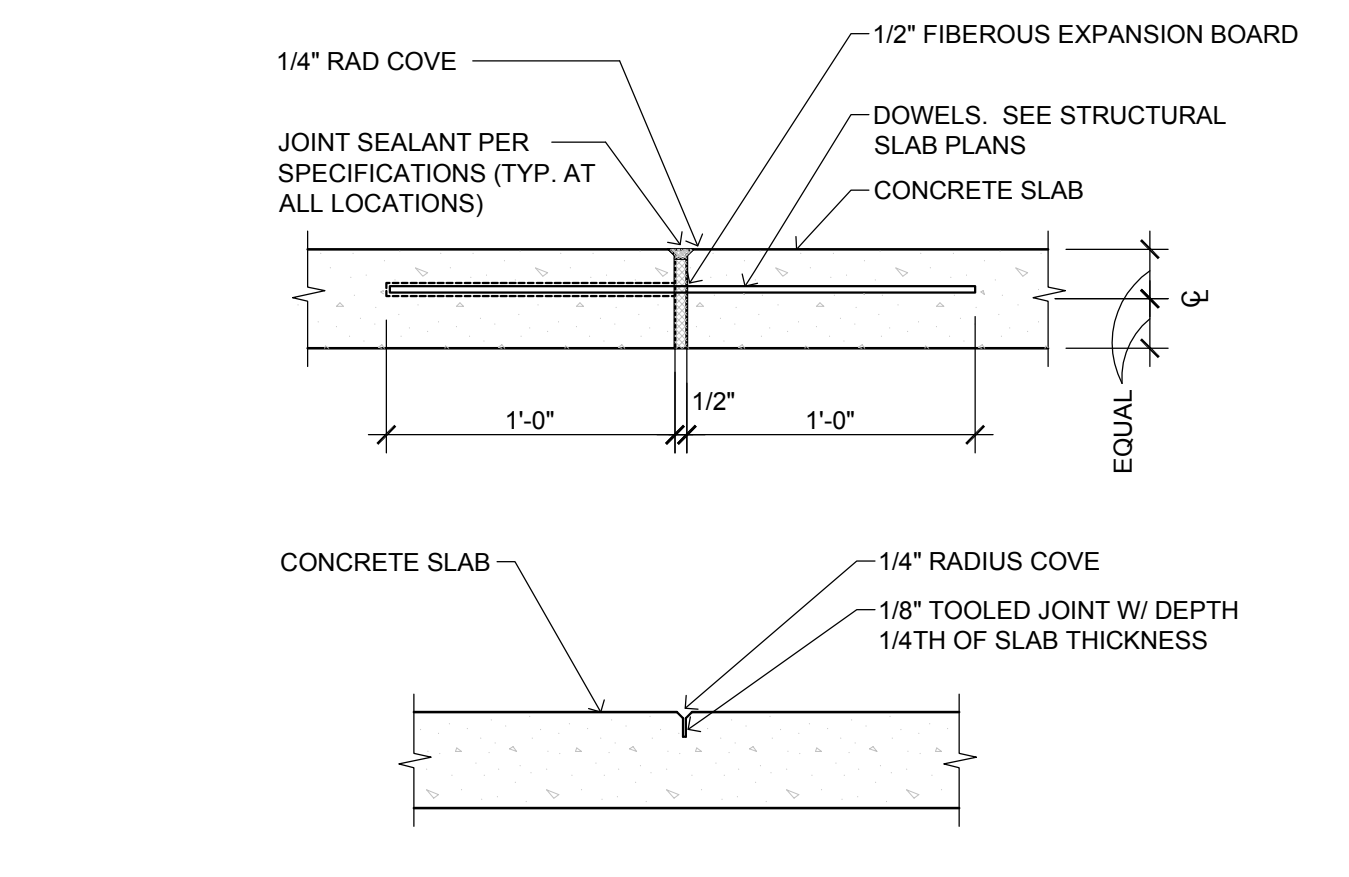
CMU WALL SECTION

10 1" = 1'-0"



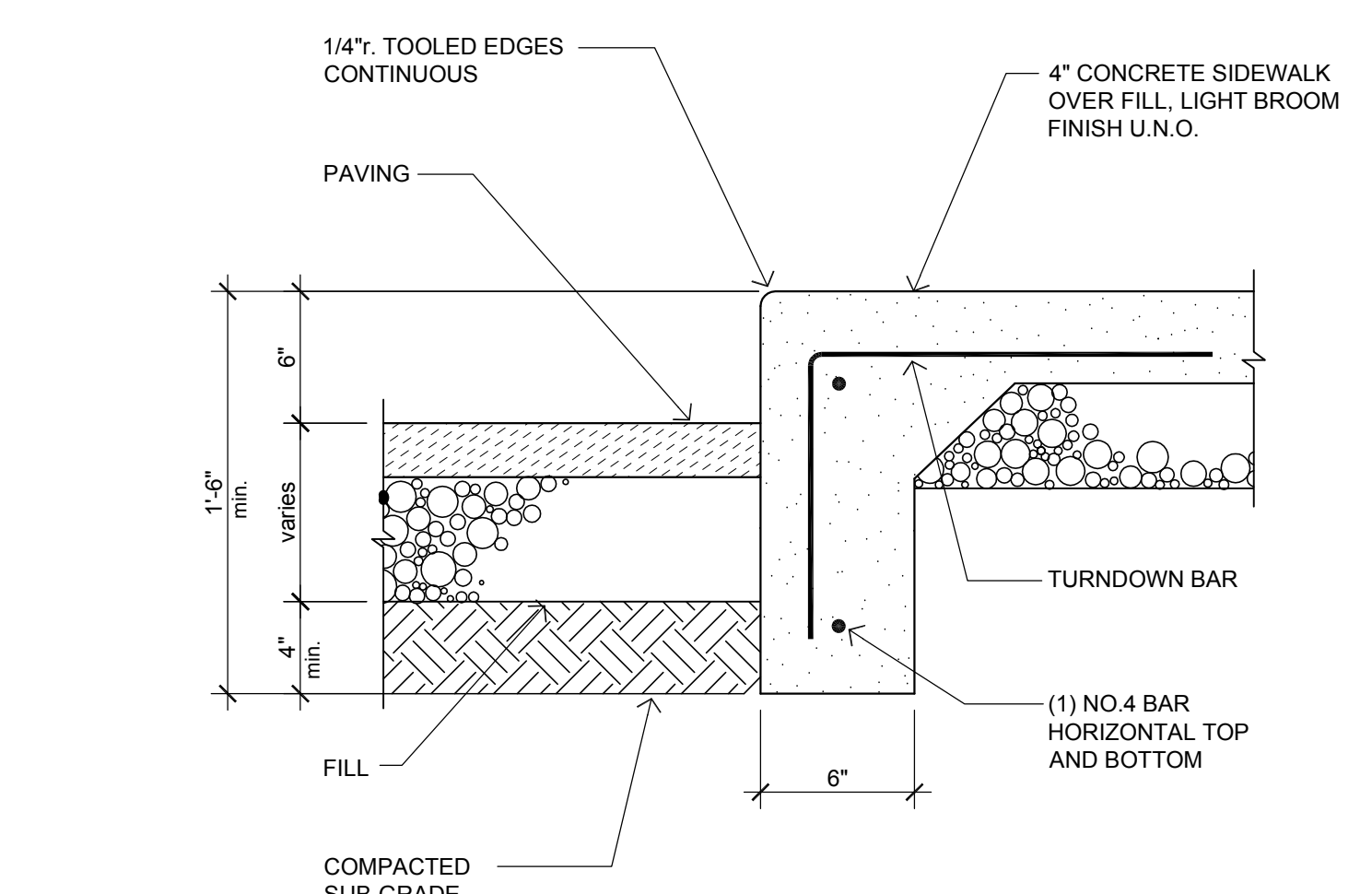
ROOF ACCESS LADDER

7 1/2" = 1'-0"



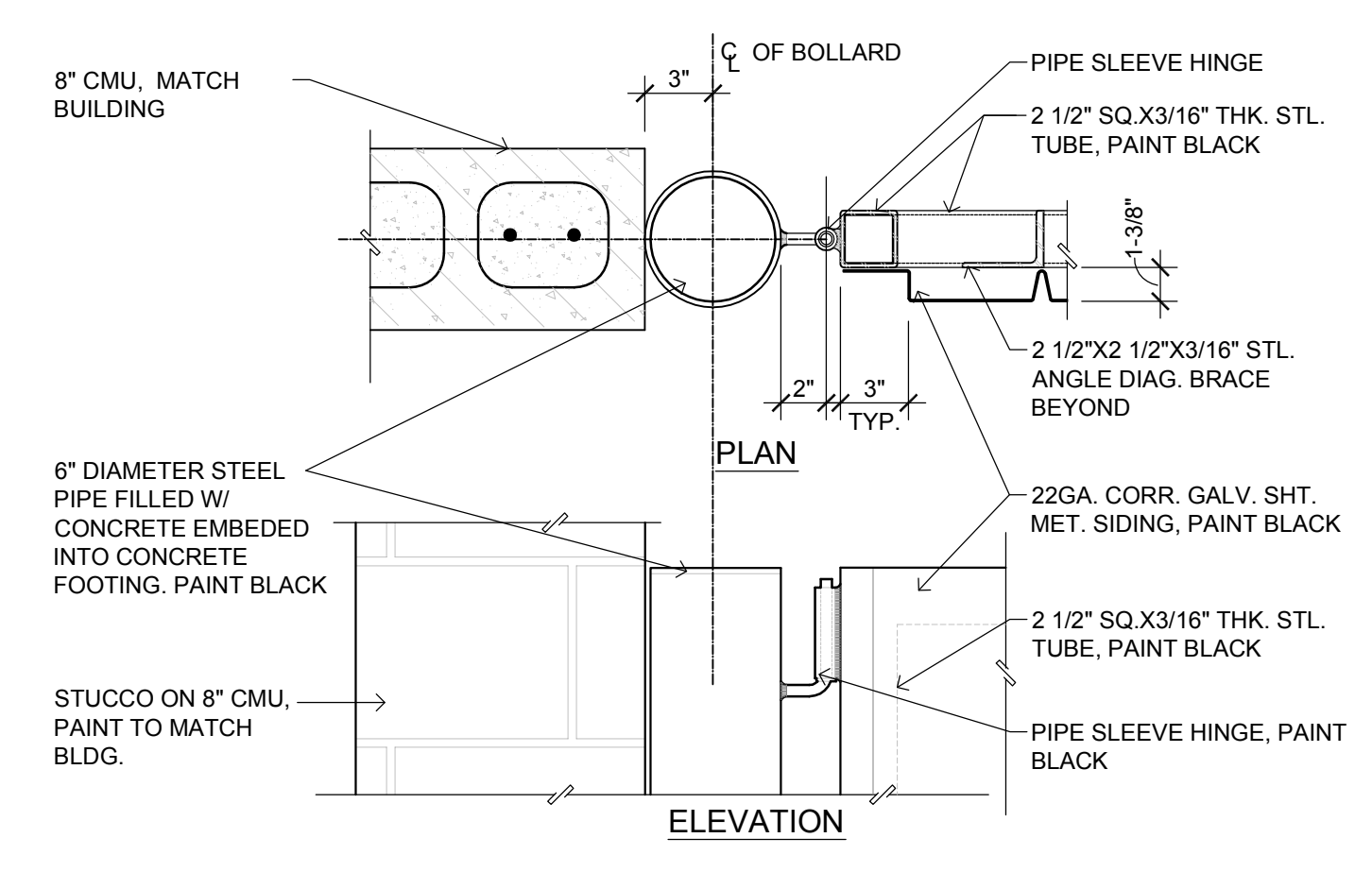
EXPANSION / CONTROL JOINT

4 1-1/2" = 1'-0"



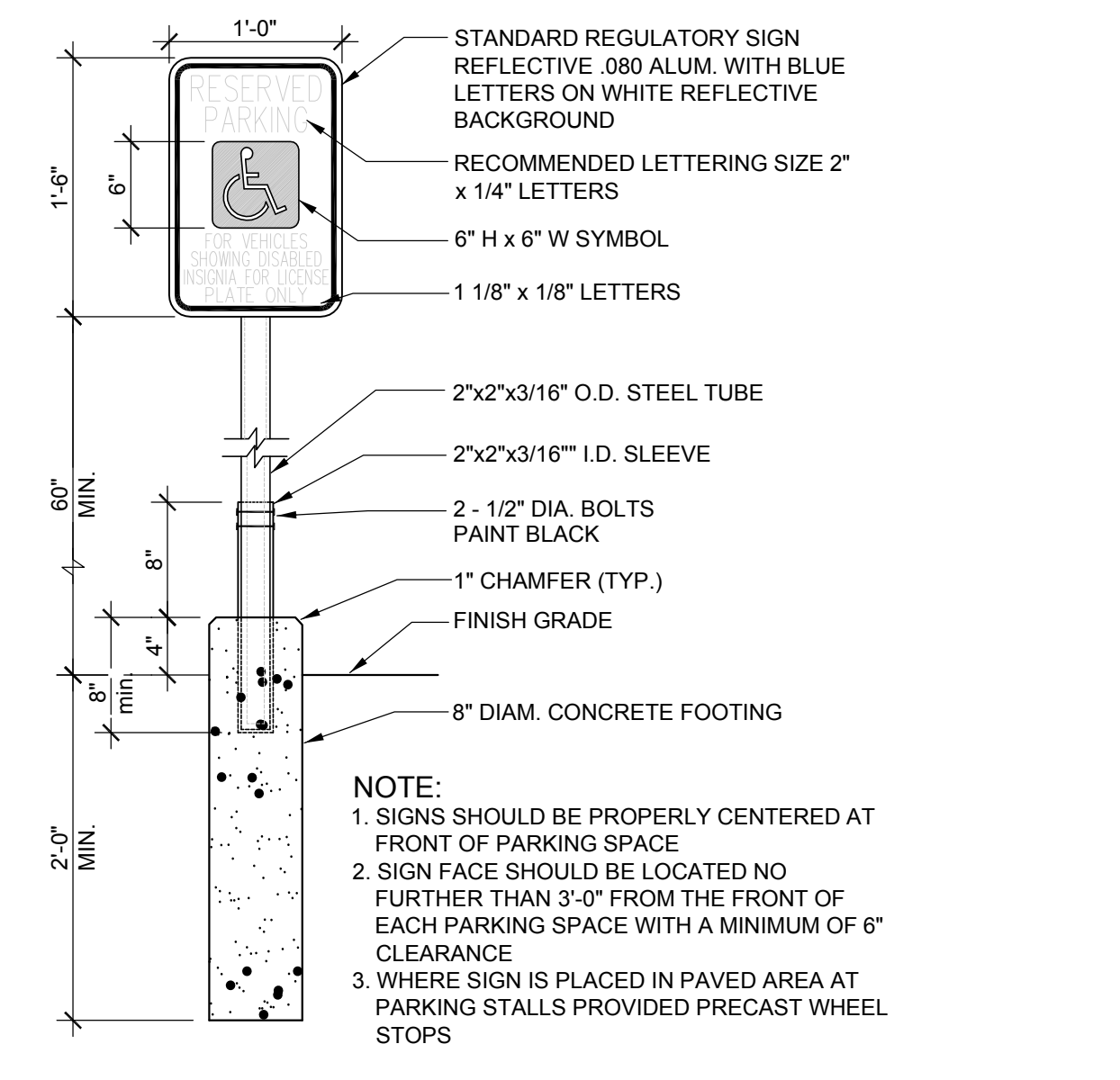
CONCRETE CURB AND WALK

1 1-1/2" = 1'-0"



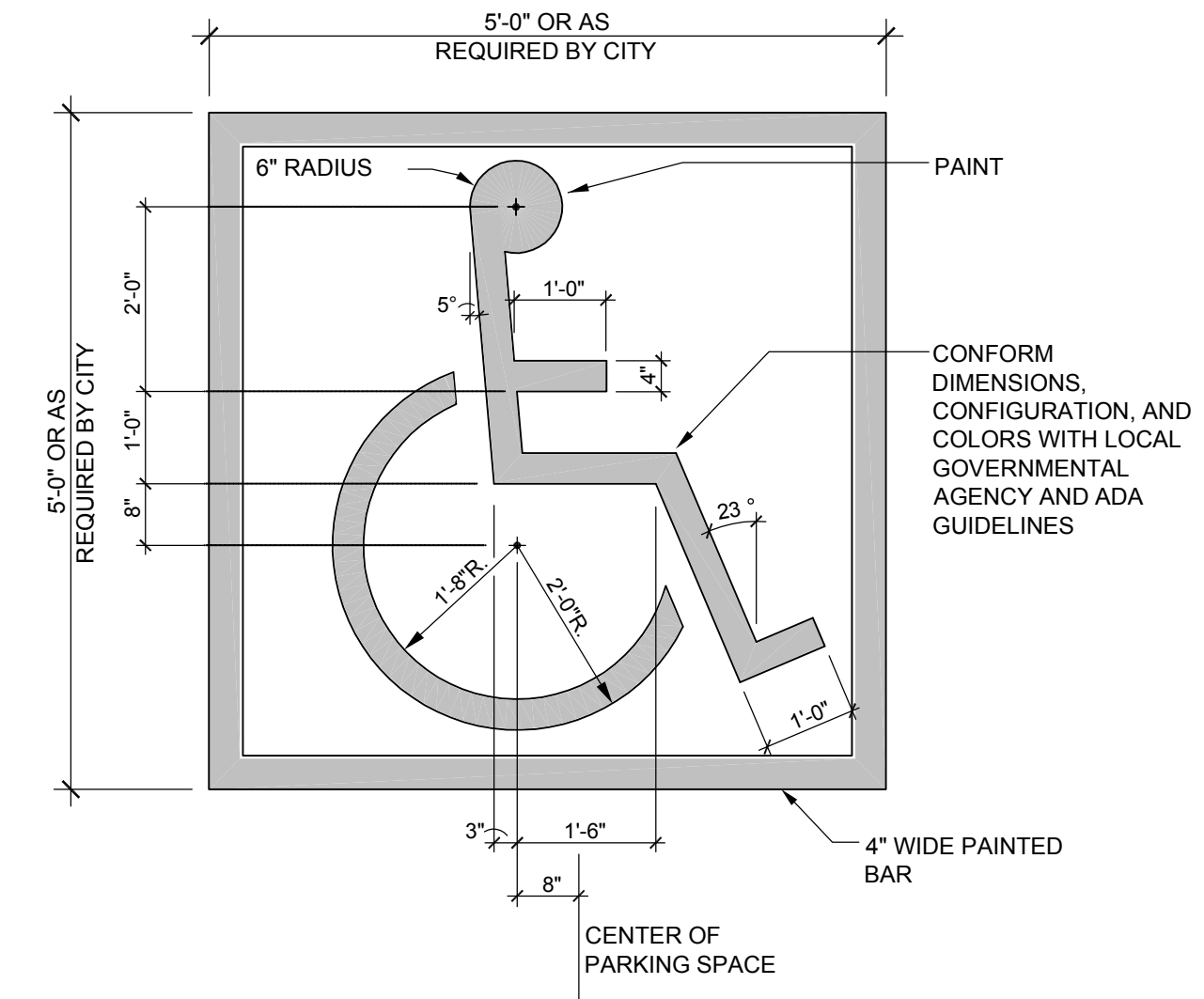
TRASH GATE DETAIL

11 1-1/2" = 1'-0"



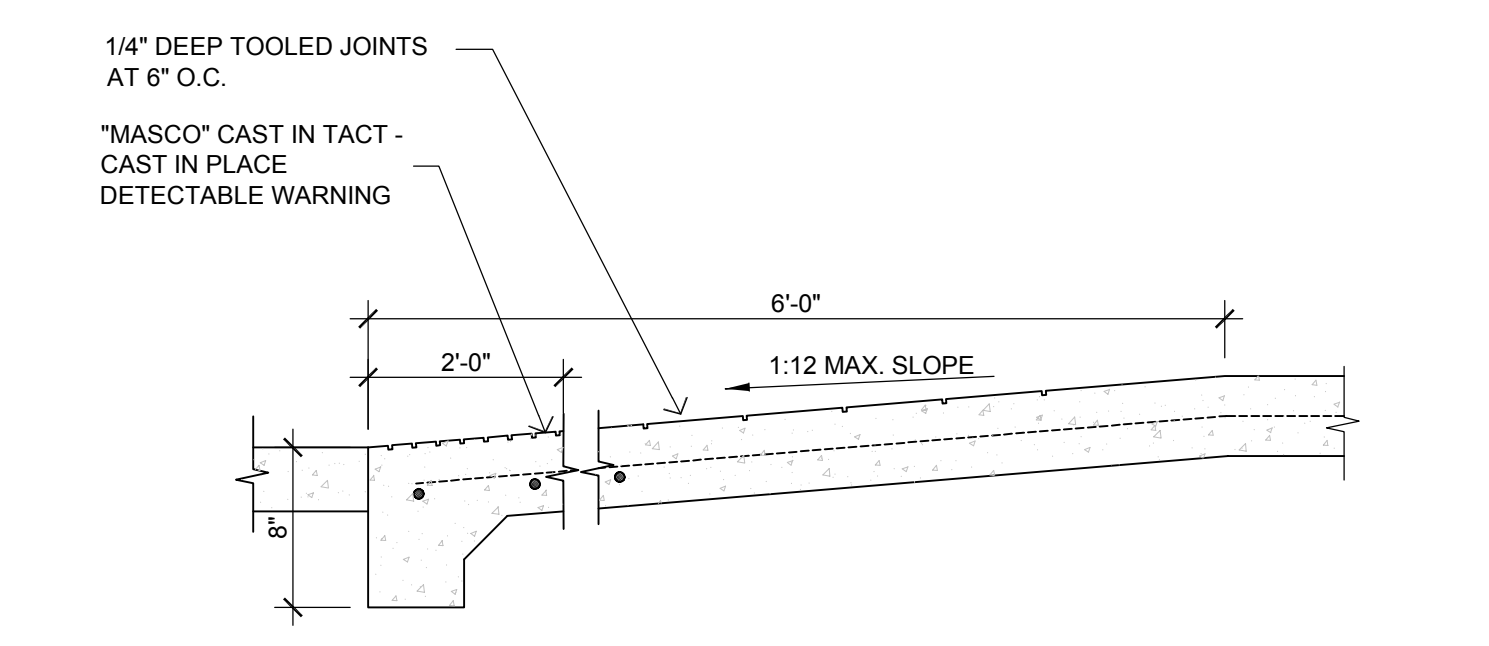
A.D.A. PARKING SIGN

8 1" = 1'-0"



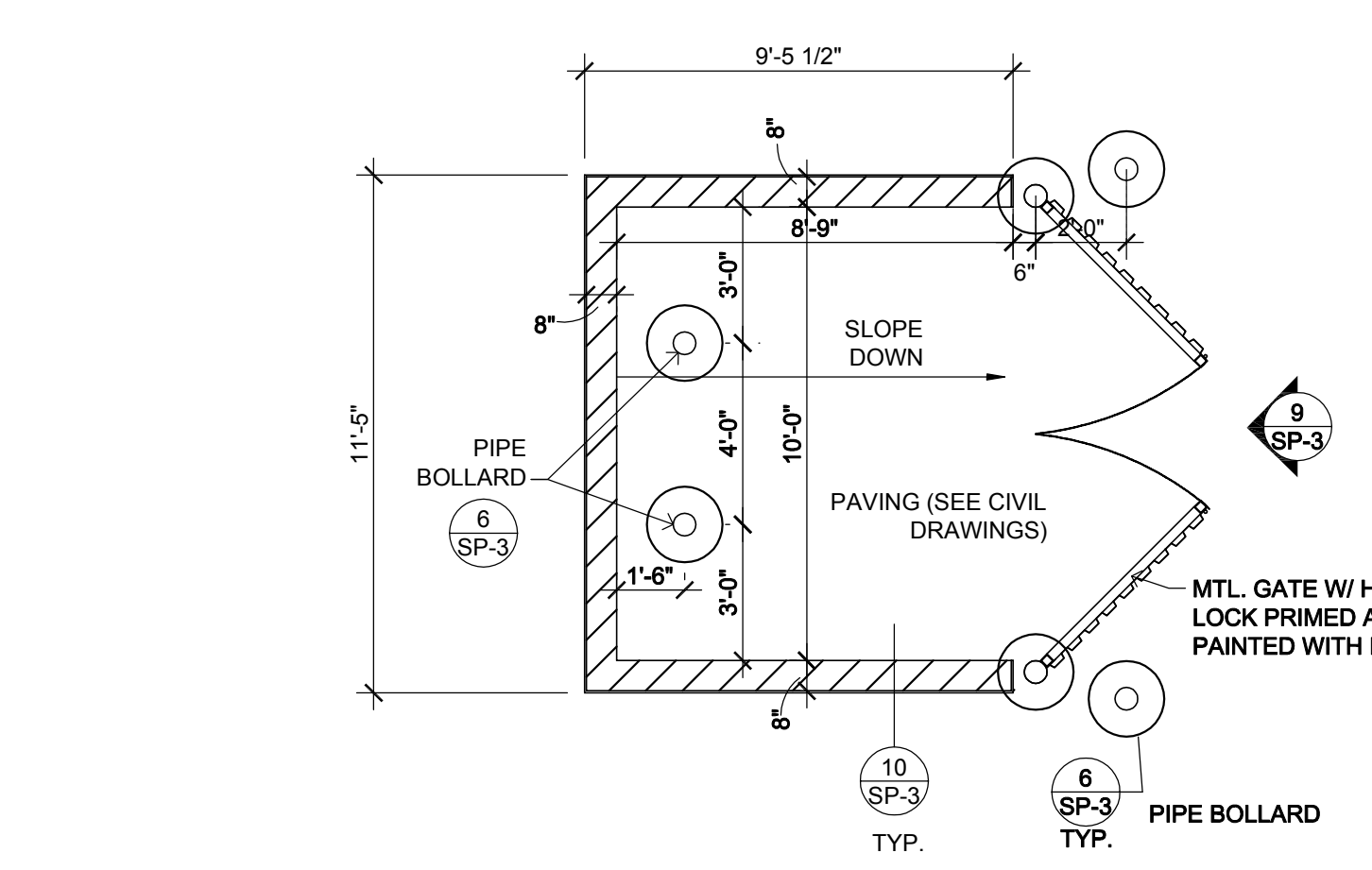
ADA SYMBOL DETAIL

5 3/4" = 1'-0"



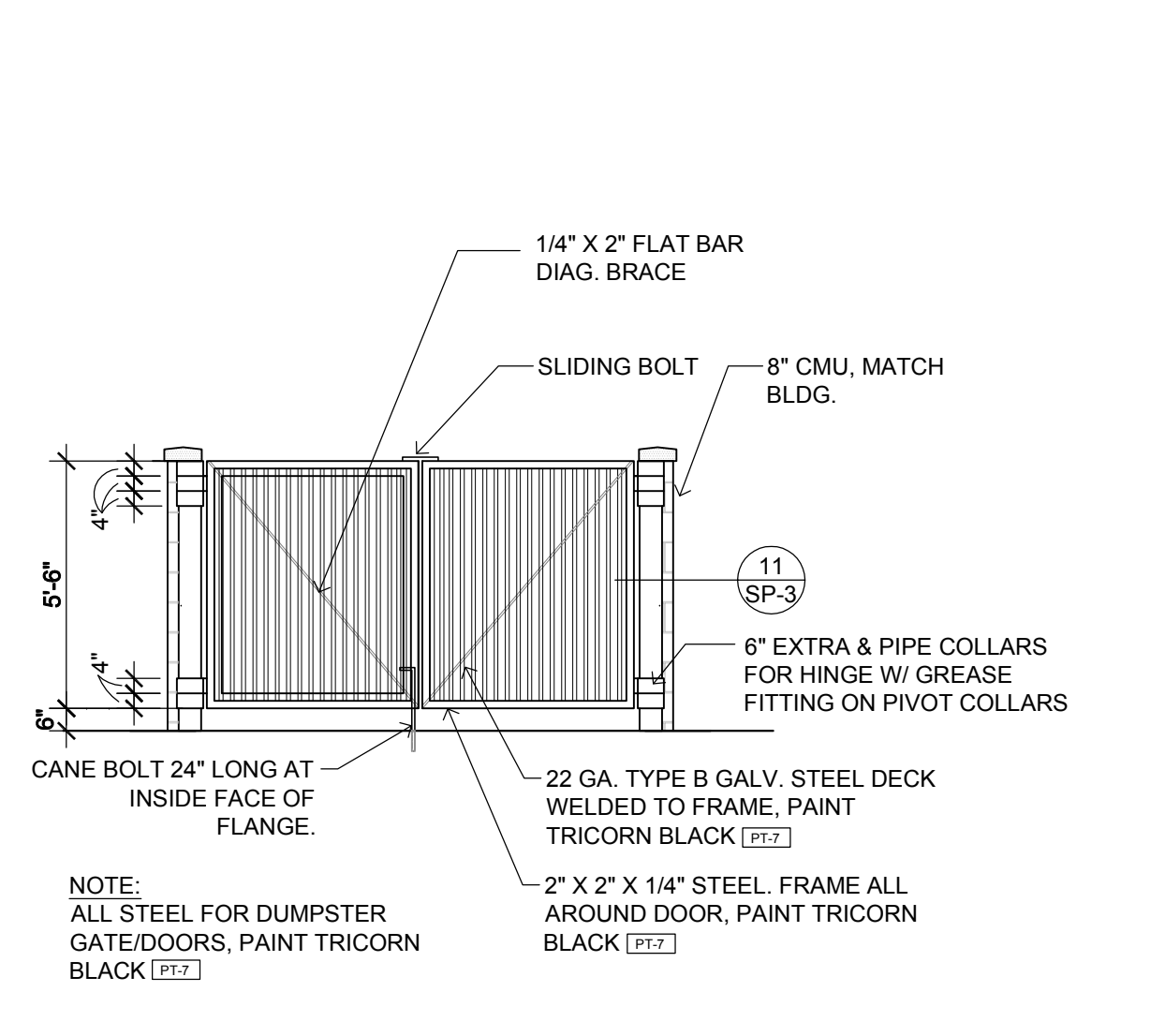
RAMP SECTION

2 1" = 1'-0"



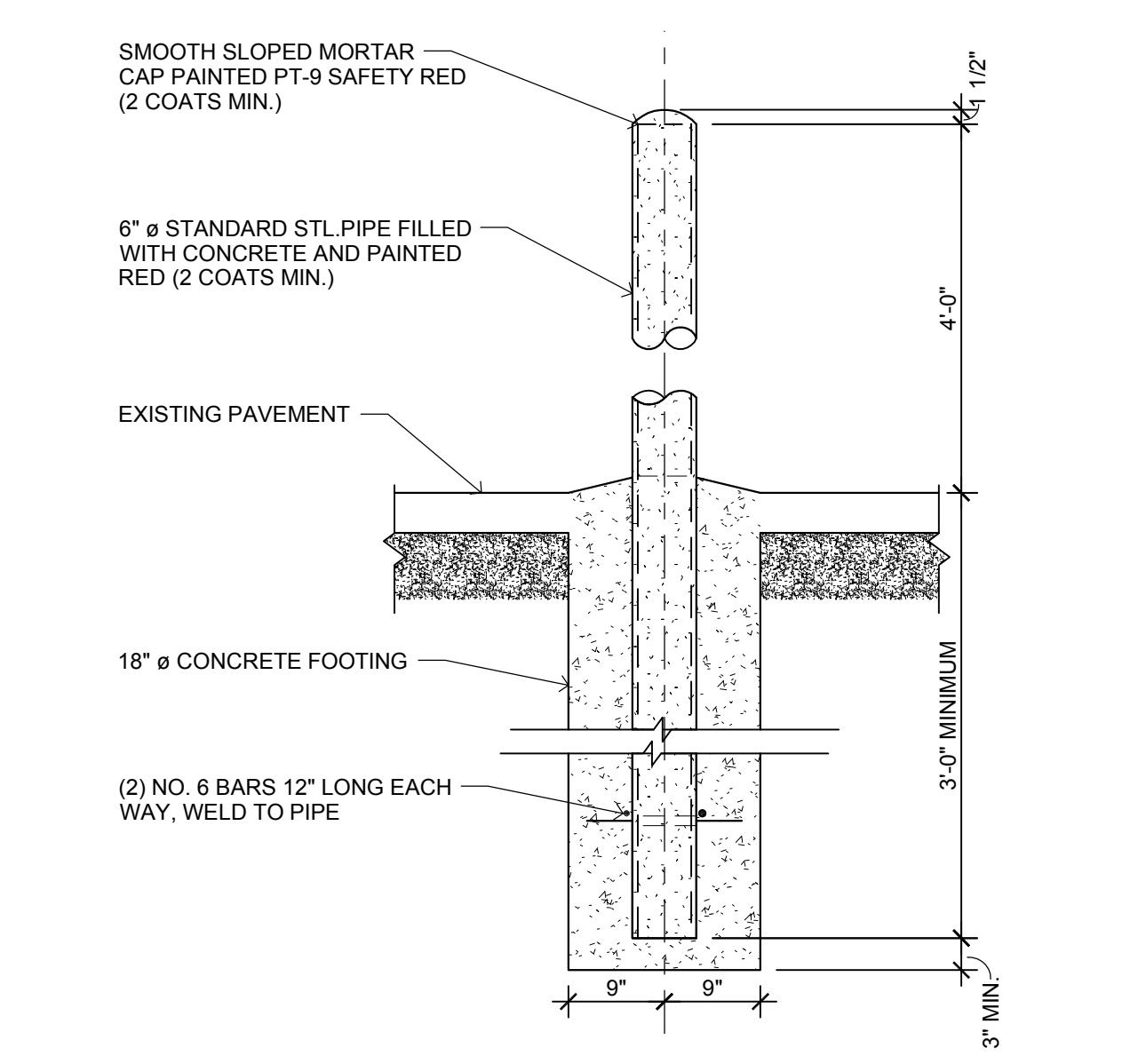
PLAN AT TRASH ENCLOSURE

12 1/4" = 1'-0"



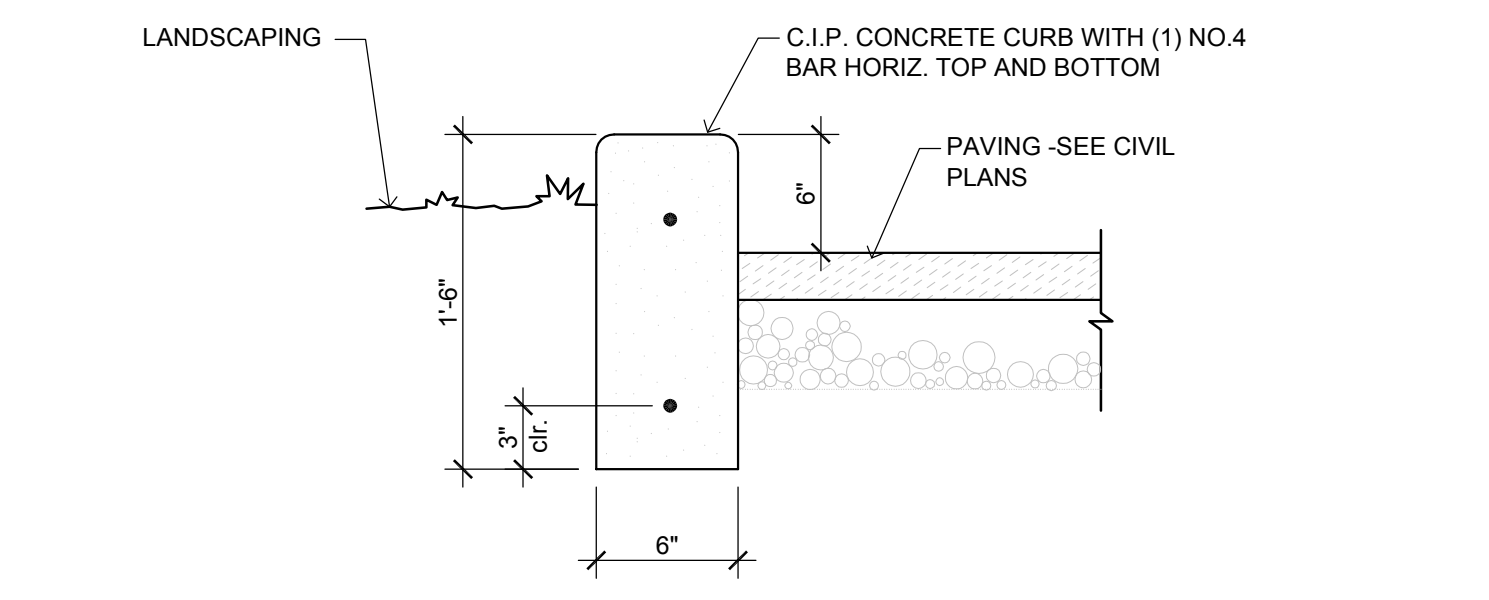
ELEVATION AT TRASH ENCLOSURE GATES

9 1/4" = 1'-0"



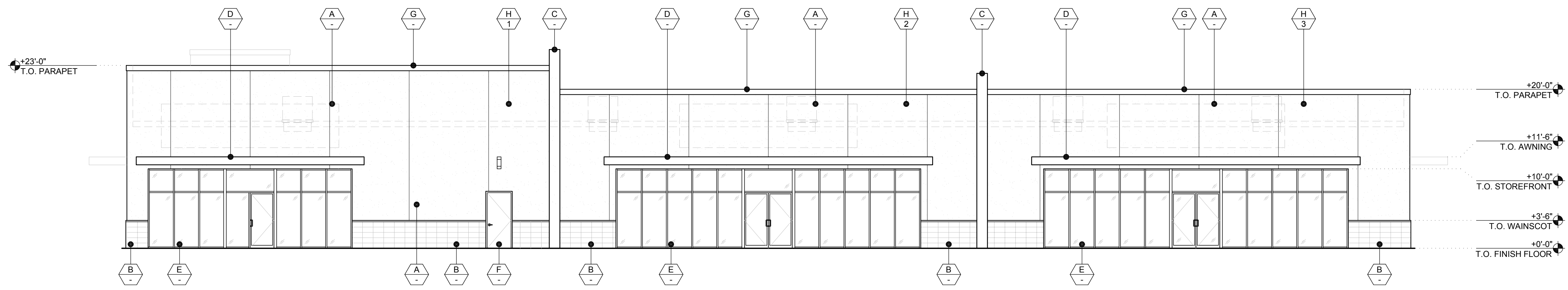
BOLLARD DETAIL

6 3/4" = 1'-0"



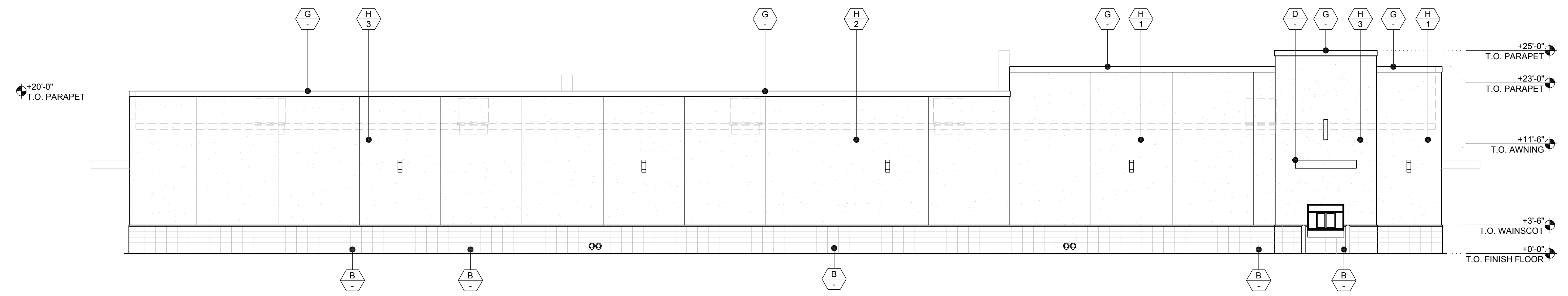
CAST IN PLACE CURB

3 1-1/2" = 1'-0"



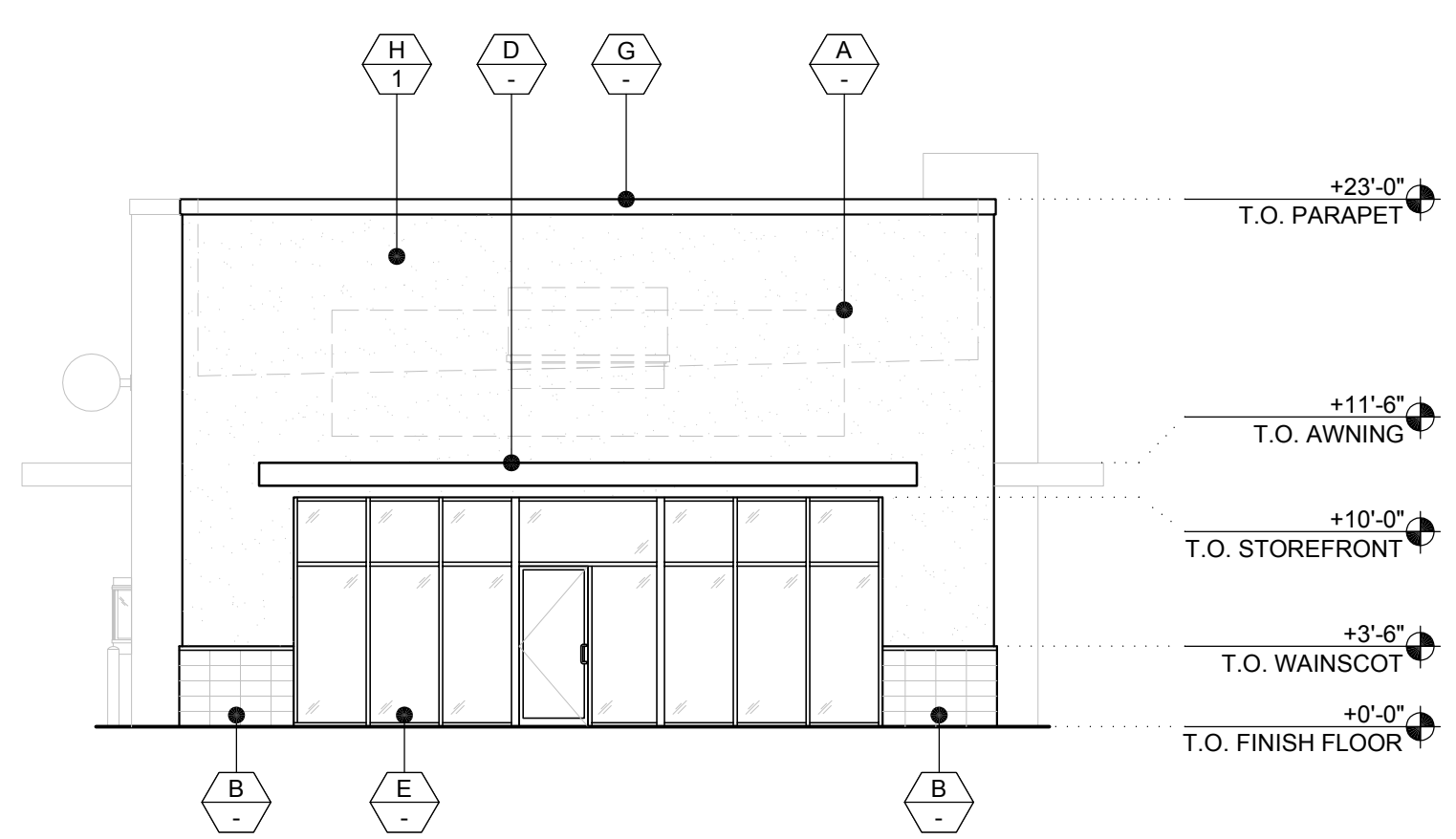
SOUTH ELEVATION

A 1/8" = 1'-0"



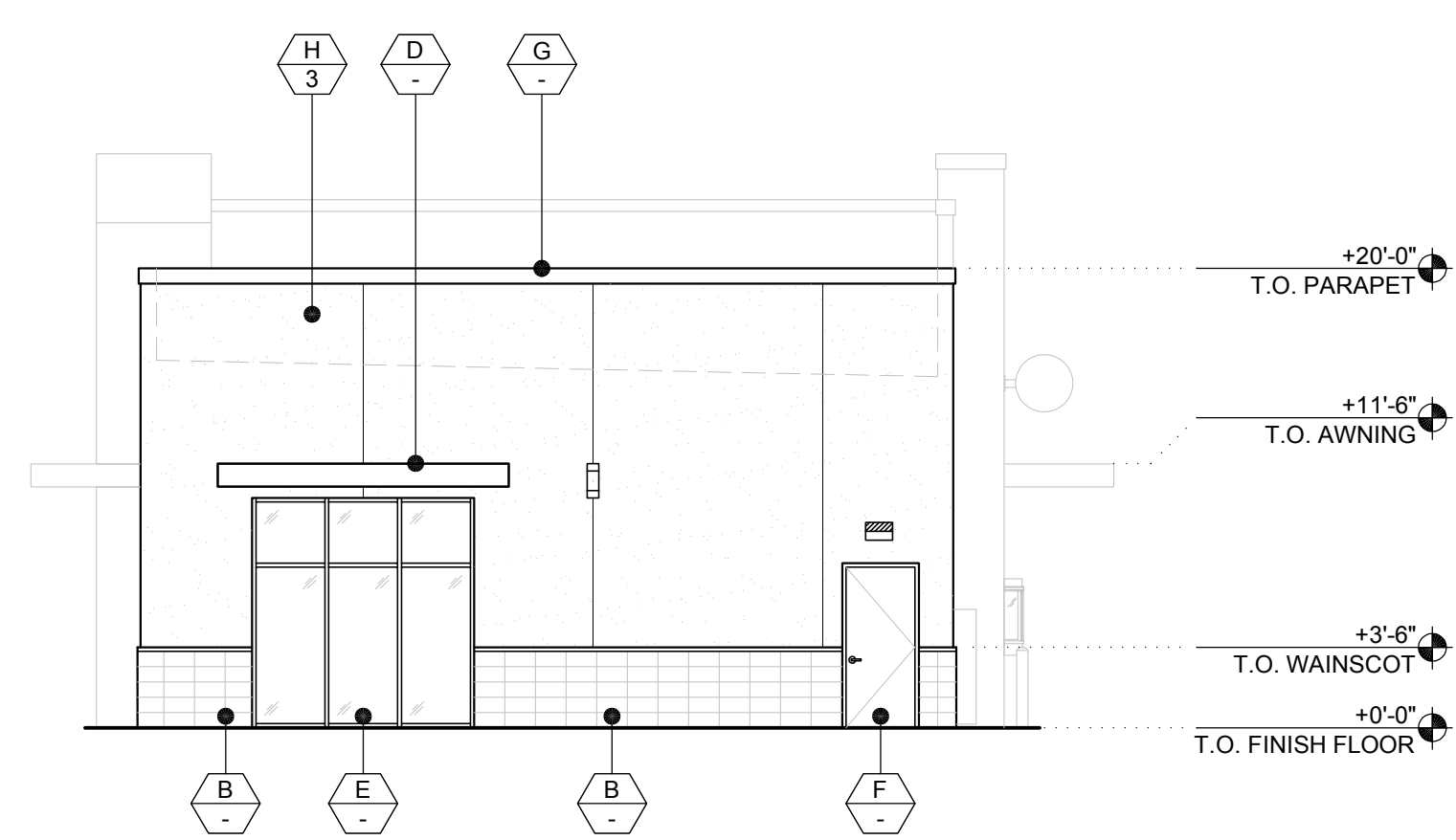
NORTH ELEVATION

B 1/8" = 1'-0"



WEST ELEVATION

D 1/8" = 1'-0"



EAST ELEVATION

C 1/8" = 1'-0"

MATERIALS

- A** SIGN BY TENANT, APPROVED UNDER SEPARATE REVIEW AND PERMIT
- B** MSI METRO GRIS 12"x24" WITH STONE CAP
- C** NORTH CLAD AL SERIES "GREY" WALL CLADDING SYSTEM
- D** STEEL CANOPY - PAINT BLACK
- E** KAWNEER 451T ALUM/GLASS STOREFRONT (1/4" INSULATED BRONZE TINTED TEMPERED GLASS, 20% MAX REFLECTIVITY) CLEAR ANODIZED ALUMINUM FINISH.
- F** METAL DOOR AND FRAME - PAINT TO MATCH
- G** METAL COPING - PAINT BLACK
- H** WESTERN ONE COAT STUCCO SYSTEM

FINISHES

- 1** PAINT MFG: BEHR
MODEL: -
STYLE: PPU26-21
COLOR: OVERCAST
- 2** PAINT MFG: BEHR
MODEL: -
STYLE: PPU26-17
COLOR: FAST AS THE WIND
- 3** PAINT MFG: BEHR
MODEL: -
STYLE: PPU26-22
COLOR: SUMMER STORM

GENERAL NOTES

1. ALL ROOF MOUNTED EQUIPMENT SHALL BE FULLY SCREENED BY THE PARAPET.
2. ALL SIGNAGE SHALL BE REVIEWED AND APPROVED UNDER SEPARATE SUBMITTAL
3. ALL BUILDING MOUNTED UTILITY BOXES ARE TO BE PAINTED TO MATCH ADJACENT COLORS.



1255 WEST RIO SALADO PARKWAY
SUITE 207
TEMPE, AZ 85281
PHONE 480.268.2900
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WWW.ARIZAJODENET



EXP. DATE: 09/30/2019

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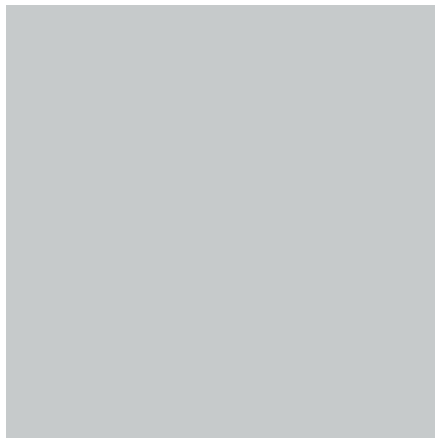
DATE

DELTA

SHELL BUILDING
SOUTHERN & SOUTH CRISMON
1257 SOUTH CRISMON ROAD
MESA, ARIZONA 85208

SHEET TITLE
EXTERIOR ELEVATIONS
JOB NO
A17392
DATE 4/2/18
SCALE AS NOTED
DRAWN BW
CHECKED CC
SHEET NO

A-5



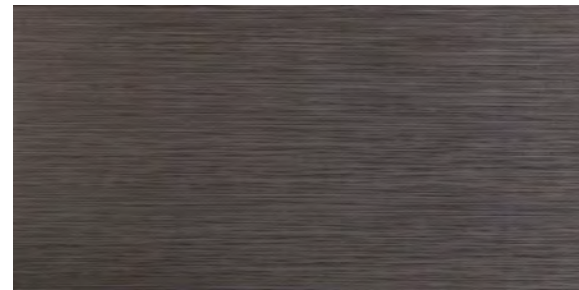
PAINT
BEHR PPU26-17
FAST AS THE WIND
EXTERIOR WALLS



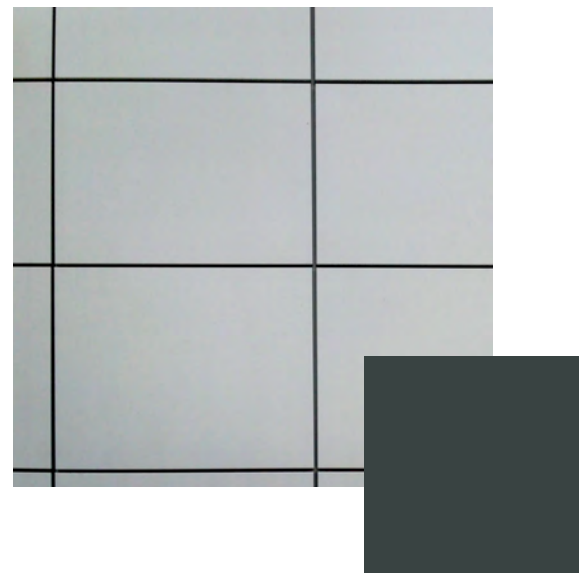
PAINT
BEHR PPU26-21
OVERCAST
EXTERIOR WALLS



PAINT
BEHR PPU26-22
SUMMER STORM
EXTERIOR WALLS



TILE
MSI
METRO GRIS 12"x24"
EXTERIOR WAINSCOT



METAL
NORTH CLAD
AL PANEL SYSTEM SERIES
CHARCOAL GRAY
ACCENT

